

## **Board of Architectural Review**

Meeting Date: 9-4-13

Agenda Item: 3

DATE: September 04, 2013  
TO: Board of Architectural Review Chair and Members  
FROM: Mike Jaskiewicz, AICP, BAR Liaison *MJ*  
THROUGH: David Hudson, Director, Community Development & Planning *DH*  
Development Division Chief  
SUBJECT: 10341 Main Street (The Mayfair): review of proposal with the exception of off-site plantings.

- ATTACHMENTS:
1. Relevant Code Sections
  2. City Council Approval Letter (dated September 27, 2012) and SE Resolution R-12-59 (dated October 01, 2012)
  3. Memo from BAR to City Council, dated September 25, 2012
  4. Applicant's Submittal, as amended

### **Nature of Request**

1. Case Number: 634-13-3T (13070014)
2. Address: 10341 Main Street (The Mayfair)
3. Request: Review and approve the architecture and site design of the Council-approved 25 dwelling units and associated facilities on the subject site located at 10341 Main Street.
4. Applicant: Fairfax Main Street LLC
5. Applicant's Representative: Molly Novotny
6. Status of Representative: Agent
7. Zoning: C-2 Retail Commercial, Transition Overlay District (TOD)

### **Staff Comments**

#### **Location:**

The subject site is located on the southeast corner of the intersection of East Street and Main Street, with a street address of 10341 Main Street. The site is adjacent to and west of the Providence Square Condominiums, across the street and south of the Main Street Marketplace, and east of East Street and historic downtown Fairfax on land zoned C-2 Retail Commercial and Old Town Fairfax Transition Overlay District. Land in the C-2 Retail Commercial District and Old Town Fairfax Historic District lies directly to the west of the site, with lands north of the site zoned C-2 Retail Commercial and Old Town Fairfax Transition Overlay District. Lands zoned P-D Planned District and Old Town Fairfax Transition Overlay District lie to the south and east of the site.

The site totals 0.8784± acres (38,264 ± square feet). The existing site has frontage and access along Main Street to the north, East Street to the west, and Sager Avenue to the south. The property is currently vacant, and in the recent past was developed with a gasoline sales and vehicle service facility on the northern portion of the site and with a retail dry cleaner business

have remained open and covered with natural vegetation. Steep slopes dominate the middle portion of the site, with the northern portion of the site higher in elevation than the southern portion.

### **Background:**

City Council approved the applicant's proposal and its seven Special Exception (SE) requests on September 25, 2012 to develop the site with 25 dwelling units set atop a 58-space parking garage and with associated facilities. A copy of the official City Council Approval Letter and Special Exception Resolution R-12-59 for this site are contained in Attachment 2. Further, the BAR reviewed five of the applicant's seven SE requests pursuant to its development application on September 19, 2012 and, in a memo included herein as Attachment 3, forwarded to City Council the following statement in partial support of the applicant's five SE requests:

"Overall, the BAR is highly supportive of the project. The BAR accepts all staff recommendations and endorses them to the City Council with the exception of the [SE requesting an] increase in the FAR. The BAR is concerned about the precedent established by a 60 percent increase over the established limit."

### **Request:**

The applicant seeks BAR approval of its Mayfair project. Not under consideration is the review of the off-site landscaping that is part of a private agreement between the applicant and the adjacent landowner to the East that addresses the provision of landscaping in partial fulfillment of the project's screening requirements.

### **Request Analysis:**

The basis for evaluating the applicant's submission lies in determining how the proposed design of the project, as contained in the applicant's submission in Attachment 4 compares to the project's CDP/SE approved by City Council and referenced in Attachment 3.

Staff has identified the following project features as topics worthy of BAR review and critique.

#### **1. General Comments.**

- a. The applicant's elevation graphics do not include vertical dimensions that allow one to cross-check the proposed building heights against the approved CDP/SE graphics that contained such dimensions.
- b. The applicant's recent submittal provides a material table on Sheet A304 in lieu of call-outs on each elevation graphic as was previously done on the approved CDP/SE graphics, thus complicating any direct comparison between graphics.
- c. The BAR is being asked to assume that the rear elevations of the proposed dwelling units as depicted on the project's west-facing elevation will be similar to all other rear elevations elsewhere on the project, and similarly that the front elevations of the proposed dwellings that face the interior courtyard area are also generally equal to the proposed dwelling elevations that face outward from toward the surrounding streets.

2. Sheet A.201: Rendered Site Plan. The applicant has purposefully not provided an indication as to the configuration of the previously-approved open rooftop patios facing the interior of the subject site.
3. General Front Elevation comments.
  - a. Exterior gutters and downspouts are shown in the recent elevations as none were previously shown.
  - b. Dual Juliet balconies were previously provided on specific units, whereas the latest plans only indicate individual Juliet balconies are being provided.
  - c. Individual dwelling entries are no longer recessed into the facades, and decorative canopies and/or Juliet balconies provide shelter at each dwelling's primary street entrance.
  - d. Previous graphics show white (concrete?) lintels and sills whereas current plans show white lintels but brick sills that match the proposed façade brick colors on upper-story fenestration.
  - e. The front doors of each units were previously shown as glass doors with overhead transom lites, whereas the current graphics propose solid doors with upper dual fixed lites.
  - f. Individual dwelling unit horizontal offsets continue to occur in pairs, as evidenced by the vertical shadow lines between proposed units.
  - g. Horizontal brick banding in different colors were originally shown to align with window lintels and sills and window transoms, whereas the current graphics show offset bands in the same colors.
  - h. The previous graphics indicate that brick was proposed to completely cover the entire facades of two of the dwellings, whereas the current graphics generally indicate the use of stone veneers across the entire first level of all proposed dwelling units.
  - i. The previous graphics show two individual eyebrow dormers on half of the proposed units, whereas the current graphics depict a single shed dormer on half of the units.
  - j. Previous graphics showed the sill of the uppermost windows in each dwelling as aligning with the lower edge of the roof or, in the case of the eyebrow dormers, lying above the lower edge of the roof.
  - k. The current graphics indicate that the proposed roofline now generally lies at a point halfway up the uppermost grouping of windows.
  - l. Lastly, the previous graphic showed brick bands in a different color on the vertical chimney element that serves as the parking garage exhaust vent, whereas the current graphics show no such banding.
4. General Rear Elevation comments.
  - a. Exterior gutters and downspouts are shown in the recent elevations as none were previously shown.
  - b. No upper Juliet balconies have been provided as were originally approved.
  - c. Access doors to the rear courtyard on each dwelling are not recessed, so no overhangs or Juliet balconies are provided to shade or shelter these entrances.



- d. Intermittent brick banding on facades at sills only (not at lintels and not of separate colored material or brick as originally approved).
  - e. Previous CDP/SE graphics show each proposed dwelling with varying roof ridge heights, whereas the submitted graphics show roof ridge heights that do not vary unit to unit.
5. General Side Elevation comments. The proposed East and West elevation drawings (Units 1, 6, 19, and 25) contain the greatest number of visible differences between the elevations reviewed and approved by the BAR and City Council as part of the CDP/SE submission. The applicant has indicated that evolution of the interior configuration of these specific dwelling interiors has mandated changes to the previously-shown exterior fenestration. Staff has identified the following general changes:
- a. The side appearance of the various roof geometries leads one to believe that the proposed upper roof patios on all dwelling units have been reconfigured, but no other graphics have been provided to substantiate this.
  - b. The proposed vertical chimney element, containing the parking garage exhaust system, that is shown as attached to the side of Unit No. 1 has increased in size (depth) and appearance, and now features a vertical indentation that creates the appearance of two separate brick flues devoid of horizontal banding set atop a stone veneer base that extends upward to a height equal to the entire first floor of Unit No. 1. The previously-approved plans depict a singular brick chimney structure with intermittent horizontal brick and stone/concrete banding with no stone veneer base.
  - c. Proposed Units 1 and 6 (fronting on Main Street) previously reviewed featured Juliet balconies aligning with each proposed second story window, whereas the current graphics show no such balconies.
  - d. Previously reviewed and approved graphics show horizontal brick accent banding on all side facades, whereas current graphics show horizontal brick banding albeit not in accent colors.
  - e. Previously reviewed and approved graphics show uppermost story single-arch or double-arch windows centered beneath the roof ridges that are no longer included, partially due to the revised roofline configuration.
  - f. Previously-approved side elevations included a full complement of full height windows on the first floors of all side elevations and full height windows on the second floors of the side elevations of the proposed dwellings fronting on Main Street, and regular-height windows on the upper floors of the remaining side elevations for the remaining dwellings. These previously-approved facades featured a full complement of singular and paired windows on all facades, whereas the current graphics primarily show singular windows on each dwelling's first level and a blend of singular windows and brick façade offsets designed to mimic singular windows on the remaining upper levels of these facades. Staff notes, however, that these façade windows and brick façade offsets do not feature separate lintels and, if sills are included, such sills are depicted as being of a brick material in a non-accent color that matches the proposed color of the brick façade. The current graphics show a vastly-reduced number of windows due, as previously discussed, to the applicant's continued refinement of the design and layout of the respective units' interior floor plans.



6. South Elevation (Sager Avenue). The approved CDP/SE graphics show each proposed dwelling with varying roof ridge heights, whereas the submitted graphics show a continuous roof ridge of a singular height.
7. Overall Site Design and associated structures. The applicant's proposed site design includes several small design changes, such as the inclusion of a sloping handicap access ramp on the northwest corner of the site, the removal of a 'wing wall' at the bottom of the pedestrian staircase close to the parking garage entrance, and the reconfiguration of the pedestrian staircase along the lower portion of East Street that provides access to the public courtyard plaza and to the parking garage level. Staff's only area of concern is the depiction that a portion of the walls on either side of the pedestrian staircase providing parking garage access here is shown to lie off the site and on publicly-owned property that appears to be part of the East Street right-of-way.

### **Conclusion:**

Staff believes that the applicants' proposed project (irrespective of any off-site landscaping) for their approved 25 dwelling unit Mayfair project is in general conformance with the project as originally proposed and approved by City Council as part of their approval of the applicant's overall SE requests. Further, staff believes the applicant's proposed project generally satisfies the applicable City Code and Zoning Ordinance provisions as well as the provisions and recommendations as contained in the Comprehensive Plan, the Community Appearance Plan, and the Old Town Design Guidelines.

### **Recommendation**

Staff recommends that the BAR approve the applicant's proposed project as currently configured subject to the following conditions:

1. All construction shall conform to the attached plans, except as may be modified by the Board of Architectural Review or the Director of Community Development and Planning.
2. The exterior staircase and its associated structure along East Street leading down to the below-grade parking garage shall be reconfigured so as to remain wholly on the applicant's property.

**Sec. 110-1071. Designation of districts.**

(a) The architectural control overlay district is hereby designated as all land in the city which is located outside an historic district and zoned for other than single-family detached residences. In addition, any lot, parcel or area of land within any area zoned for single-family detached residences outside an historic district which is used for other than single-family detached residences or which is the subject of an application for a special use permit or building permit involving any such other use shall be part of the architectural control overlay district. The provisions of this article shall not apply to single-family attached residences after such residences have been initially erected.

**Sec. 110-1072. Approval required for improvements.**

(a) No structure or improvement located on any land within the architectural control overlay district, including significant landscape features appurtenant to such structure or improvement, shall be erected, reconstructed, altered or restored until the plans for the exterior architectural features and landscaping have been approved by the board of architectural review or the city council in accordance with the provisions of article XIX of this chapter. Plans for signs appurtenant to new and renovated shopping centers, and as otherwise provided for multi-tenant commercial buildings in subsection 110-180(b) shall also be subject to board of architectural review or the city council approval. The board of architectural review shall confine its review and approval to only those features which are subject to view from a public street, way or place. The provisions of this article shall not apply to regular maintenance of a structure, improvement or site; however, an exterior color change of a structure, or substantial portion thereof, shall be deemed an alteration and not regular maintenance.

**Sec. 110-915. Powers and duties.**

The board of architectural review shall have the following powers and duties:

(2) To review and decide any application requesting approval for exterior architectural features of any structure, improvement or significant landscape feature associated with such structure or improvement to be erected, reconstructed or substantially altered in an architectural control district.





## City of Fairfax

10455 Armstrong Street  
Fairfax, Virginia 22030-3630

September 27, 2012

Mr. Al-Husain Y. Alhussein  
10341 Main Street  
Fairfax, Virginia 22030

Re: Special Exception SE-12020074

Dear Mr. Alhussein:

The Fairfax City Council, at its regular meeting of September 25, 2012, approved the request by Fairfax Main St., LLC, by Al-Husain Y Alhussein, Applicant, for Special Exceptions to allow development at a floor area ratio higher than permitted (City Code Section 110-1046(5)b); to allow reduction of the required 10-foot wide sidewalk separated from the right-of-way (Section 110-1046(3)a2); to reduce the width of the landscape screening required from an adjacent property (Section 110-258(a)); to reduce the width of a side yard (Section 110-1046(3)b1); to reduce the required front setback to parking that is partially above ground (Section 110-1046(3)a2); to exceed the 43-foot maximum wall height by constructing one unit with a 62-foot height (Section 110-1046(2); and to reduce the required parking area landscaping (Section 110-259(b)(1)) in the C-2 Retail Commercial District and Old Town Fairfax Transition Overlay District on the premises known as 10341 Main Street and more particularly described as Tax Map Parcel 57-4-((02))-131 (former Shell station at East and Main) subject to the following conditions:

1. Development shall be in general accordance with the character and quality described in the Applicant's Statement of Support submitted with the application and with the plans including Conceptual Development Plans(CDP) by J2 Engineers (sheets 1 through 6) and by KGD (sheets A.199, A.201, A300 and A301) as may be revised by these conditions and by the Board of Architectural Review;
2. All building siding and retaining walls visible from any public right-of-way shall be of brick, stone, cementitious materials supplemented with cementitious trim and detail features;
3. The Applicant shall provide all plantings to City standards and shall provide irrigation for all plantings illustrated on the CDP;





4. The Applicant shall either provide to City Standards and maintain on Providence Square property the plantings shown on the CDP or provide funding for Providence Square to install and maintain plants of their own choice on the west side of the Providence Square property; in either case BAR approval is required;
5. The Applicant shall meet all standards of the City of Fairfax and of the Commonwealth of Virginia regarding both storm water detention and Chesapeake Bay water quality best management practices;
6. Subsequent to approval of the Special Exception requests but prior to site plan approval the Applicant shall submit a construction management plan for approval by the City Manager or designee to address the following information:
  - a. Hours of construction;
  - b. Truck routes to and from entrances;
  - c. Location of parking areas for construction employees;
  - d. Truck staging and cleaning areas;
  - e. Storage areas;
  - f. Fencing details;
  - g. Trailer and sanitary facility locations;
  - h. Traffic control measures; and
  - i. Maintenance of entrances;
7. The Applicant shall provide cash, bond or letter of credit in the amount of \$20,000 to provide for any damage to the road system fronting the property;
8. The Applicant shall identify a person who shall serve as liaison to the community throughout the duration of construction. The name and telephone number of this individual shall be provided in writing to residents and business owners whose property lies adjacent to or across the street from the site.
9. The Applicant shall provide an easement for public access over all areas where the CDP depicts sidewalk widening onto private property;
10. The Applicant shall provide to City standards brick sidewalks, street lights and street trees along all street frontages of the property and provide additional landscaping within the rights-of-way, including shrubs, flower beds and ground cover in the triangular area of widened right-of-way adjacent to East Street;
11. The Applicant shall be responsible for maintenance of any water or sewer mains located within or under the parking garage;
12. All buildings shall be provided with fire suppressant systems meeting the standard of NFPA 13R at a minimum, including coverage of any attic space;
13. The Condominium Association documents shall provide assurance that:

- a. All private garages will always remain available for parking the number of vehicles shown on the plans;
  - b. All decks and private courtyards visible from any public right-of-way will be kept free of toys, bicycles, laundry and other items that would give a cluttered appearance as seen from the right-of-way;
  - c. Each unit will be used only for a residential dwelling with associated accessory and/or ancillary uses; and
  - d. Occupancy of each dwelling unit shall be limited to the immediate members of one family plus no more than two additional residents. This restriction would include the ability for three (3) unrelated persons to live in one dwelling.
14. The Applicant shall place underground all overhead utilities on the site and in the public rights-of-way adjacent to the site. Should estimates of the cost of placing underground those utilities adjacent to East Street exceed \$250,000, the Applicant shall work with the City to achieve the underground construction at a cost to the Applicant not to exceed \$250,000. As an alternative, should the City desire to do the work itself, the Applicant shall provide a one-time contribution of \$250,000 to be used for undergrounding utilities around the site. If the City does not use the monies to underground the utilities within three (3) years, the money will be refunded to the Applicant.

Sincerely,



Melanie R. Burrell  
City Clerk

cc: David Hudson, Director, Community Development & Planning  
Jack Blevins, Community Development Division Chief

MRB/dms



## RESOLUTION NO. R-12-59

**RESOLUTION TO APPROVE THE REQUESTS OF FAIRFAX MAIN STREET, L.L.C., OWNER, AND AL-HUSAIN Y. ALHUSSEIN, APPLICANT, FOR RELIEF FROM THE DEVELOPMENT STANDARDS SET FORTH IN SEVEN SECTIONS OF THE ZONING ORDINANCE ON THE PREMISES KNOWN AS 10341 MAIN STREET AND MORE PARTICULARLY DESCRIBED AS TAX MAP PARCEL 57-4-02-131.**

**WHEREAS**, Fairfax Main Street LLC, Owner, and Al-Husain Y. Alhussein, applicant, has submitted Application No. SE-12020074 requesting Special Exceptions to:

1. Allow development at a floor area ratio of 1.92 that is higher than the floor area ratio of 1.20 that is the maximum permitted by Sec. 110-1046 (5) b;
2. Exceed the maximum wall height of 43 feet by providing one unit with a 62-foot high wall as permitted by Sec. 110-1046 (2);
3. Reduce the width, planting, and wall requirements for the landscape screen as required by Sec. 110-258 (A);
4. Allow the provision of a 0.55-foot to 1.08-foot wide side yard where buildings need to either be built on the property line or with a minimum 10-foot wide side yard as required by Sec. 110-1046 (3) B 1;
5. Reduce the front yard setback to parking that is partially above ground as shown on the plans as required by Sec. 110-1046 (3) A 2;
6. Reduce to zero the width of the sidewalk widening in the front yard(s) of a corner lot as required by Sec. 110-1046 (3) A 2;
7. Reduce the parking area landscaping as shown on the plans as required by Sec. 110-259 (B)1; and

**WHEREAS**, City Council has carefully considered the application, the recommendation of staff, and testimony received at the public hearing; and

**WHEREAS**, City Council has determined that the proposed Special Exceptions are appropriate because the proposal meets the requisites established by City of Fairfax Code Sections 110-263, 110-366, 110-1046, and 110-1047 for the following reasons:

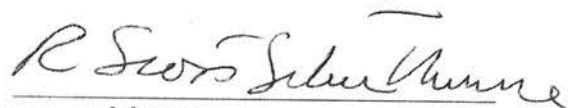
1. The requests are consistent with the Comprehensive Plan and other adopted city goals and policies;
2. The requests are appropriate given the size and shape of the lot and the lot's site design on which the residential project is proposed;
3. The requests will not result in increased traffic congestion or otherwise negatively impact existing traffic flow or pedestrian and vehicular safety;
4. The requests will not adversely impact adjacent property or the surrounding area;
5. The requests will not adversely impact the safety and welfare of residents living in the area; and
6. The requests are in harmony with the general purpose and intent of the applicable article of Chapter 110 of the City Code.



2. All building siding and retaining walls visible from any public right-of-way shall be of brick, stone, cementitious materials supplemented with cementitious trim and detail features;
3. The Applicant shall provide all plantings to City standards and shall provide irrigation for all plantings illustrated on the CDP;
4. The Applicant shall either provide to City Standards and maintain on Providence Square property the plantings shown on the CDP or provide funding for Providence Square to install and maintain plants of their own choice on the west side of the Providence Square property; in either case BAR approval is required;
5. The Applicant shall meet all standards of the City of Fairfax and of the Commonwealth of Virginia regarding both storm water detention and Chesapeake Bay water quality best management practices;
6. Subsequent to approval of the Special Exception requests but prior to site plan approval the Applicant shall submit a construction management plan for approval by the City Manager or designee to address the following information:
  - a. Hours of construction;
  - b. Truck routes to and from entrances;
  - c. Location of parking areas for construction employees;
  - d. Truck staging and cleaning areas;
  - e. Storage areas;
  - f. Fencing details;
  - g. Trailer and sanitary facility locations;
  - h. Traffic control measures; and
  - i. Maintenance of entrances;
7. The Applicant shall provide cash, bond or letter of credit in the amount of \$20,000 to provide for any damage to the road system fronting the property;
8. The Applicant shall identify a person who shall serve as liaison to the community throughout the duration of construction. The name and telephone number of this individual shall be provided in writing to residents and business owners whose property lies adjacent to or across the street from the site.
9. The Applicant shall provide an easement for public access over all areas where the CDP depicts sidewalk widening onto private property;
10. The Applicant shall provide to City standards brick sidewalks, street lights and street trees along all street frontages of the property and provide additional landscaping within the rights-of-way, including shrubs, flower beds and ground cover in the triangular area of widened right-of-way adjacent to East Street;
11. The Applicant shall be responsible for maintenance of any water or sewer mains located within or under the parking garage;
12. All buildings shall be provided with fire suppressant systems meeting the standard of NFPA 13R at a minimum, including coverage of any attic space;
13. The Condominium Association documents shall provide assurance that:
  - a. All private garages will always remain available for parking the number

placing underground those utilities adjacent to East Street exceed \$250,000, the Applicant shall work with the City to achieve the underground construction at a cost to the Applicant not to exceed \$250,000. As an alternative, should the City desire to do the work itself, the Applicant shall provide a one-time contribution of \$250,000 to be used for undergrounding utilities around the site. If the City does not use the monies to underground the utilities within three (3) years, the money will be refunded to the Applicant.

Adopted this 25th day of September, 2012.

  
Mayor

  
Date

ATTEST:

  
City Clerk

The vote on the motion to approve was recorded as follows:

**VOTE:**

Councilman DeMarco	Aye
Councilman Drummond	Aye
Councilman Greenfield	Aye
Councilman Meyer	Aye
Councilmember Schmidt	Aye
Councilman Stombres	Aye



# CITY OF FAIRFAX

## Department of Community Development & Planning

### 10341 Main Street proposal

**TO:** Members of City Council  
**THRU:** Jack Blevins, AICP, Community Development Division Chief  
**FROM:** Mike Jaskiewicz, AICP, Senior Planner  
**SUBJECT:** Summary Review of Comments from Board of Architectural Review (BAR)  
 Meeting on September 19, 2012  
**DATE:** September 25, 2012

On September 19, 2012 the BAR reviewed and made recommendation to the City Council on the applicant's requests for five Special Exceptions (of seven total SE's) that specifically request relief from various provisions of the Transition Overlay District (TOD) for the site located at 10341 Main Street, also known as the former Shell service station (SE-12020074).

The BAR discussed the applicant's proposal for redevelopment of the subject site, and discussed each of the five SE requests in detail. In conclusion, the BAR came to a consensus that overall they are all fully supportive of the application and the applicant's proposed design for the subject property. The staff report to the BAR dated September 19, 2012 contains the following Staff Recommendation: "Staff recommends that the BAR provide a recommendation of approval to the City Council for the requested Special Exceptions to the Old Town Fairfax Transition Overlay District code standards".

**The BAR adopted a motion** to convey the following statement to City Council as the BAR's recommendation on the five SE requests to the provisions of the TOD and on the applicant's proposed redevelopment of the 10341 Main Street property in general:

*"Overall, the BAR is highly supportive of the project. The BAR accepts all staff recommendations and endorses them to the City Council with the exception of the [SE requesting an] increase in the FAR. The BAR is concerned about the precedent established by a 60 percent increase over the established limit."*

The following is a listing of the five SE requests to provisions of the TOD standards:

1. Allow development at a floor area ratio of 1.92 that is higher than the floor area ratio of 1.20 that is the maximum permitted by Sec. 110-1046 (5) b;
2. Exceed the maximum wall height of 43 feet by providing one unit with a 62-foot high wall as permitted by Sec. 110-1046 (2);
3. Allow the provision of a 0.55-foot to 1.08-foot wide side yard where buildings need to either be built on the property line or with a minimum 10-foot wide side yard as required by Sec. 110-1046 (3) B 1;
4. Reduce the front yard setback to parking that is partially above ground as shown on the plans as required by Sec. 110-1046 (3) A 2; and
5. Reduce to zero the width of the sidewalk widening in the front yard(s) of a corner lot as required by Sec. 110-1046 (3) A 2;



RECEIVED

Attachment 4

JUL 02 2013

BAR No: 634-13-3T

Dept. of Community  
Development & Planning

Information No: 13070014

CITY OF FAIRFAX  
BOARD OF ARCHITECTURAL REVIEW  
APPLICATION FOR CERTIFICATE OF APPROVAL

Applicant: Fairfax Main St., LLC Phone: 703-537-0440

Applicant's Address: 3925 Old Lee Highway, Suite 51A, Fairfax, VA 22030

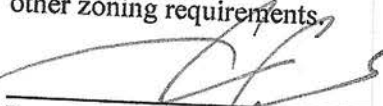
Applicant's Representative: Molly Novotny Phone: 703-456-8105

Representative's Address: Cooley LLP, 11951 Freedom Dr., Reston, VA 20190

Property Owner: Fairfax Main St., LLC

Owner's Address: 3925 Old Lee Highway, Suite 53B, Fairfax, VA 22030

I hereby certify that the representative named above has the authority vested by me to commit to design changes, and otherwise represent me as property owner to the Board of Architectural Review. The information provided on this application is accurate to the best of my knowledge. I understand that I must comply with all conditions of the Certificate of Approval as well as all other zoning requirements.

  
Property Owner's Signature

7/2/2013  
Date

Project Name: 10341 Main Street

Project Location: Southeast corner of Main Street and East Street

Project Description: 25 Townhouses built atop a parking garage

Lot Area: 0.878 Acres Structure Sq. Ft. (existing) N/A (proposed)

Office Use Only

Tax Map Number: 57-4-02-131 Fee Paid: 1250 Receipt Number: 35644

Rev. 03/09

**AFFIDAVIT  
CITY OF FAIRFAX**

I, Al-Husain Y. Alhussein, by Fairfax Main St. Management, LLC do hereby make oath or affirmative that

(name of applicant or agent)

I am an applicant in Application Number \_\_\_\_\_ and that to the best of my knowledge and belief, the following information is true:

1. (a) That the following is a list of names and addresses of all applicants, title owners, contract purchasers, and lessees of the property described in the application, and if any of the foregoing is a trustee, each beneficiary having an interest in such land, and all attorneys, real estate brokers, architects, engineers, planners, surveyors, and all other agents who have acted on behalf of any of the foregoing with respect to the application (attach additional pages if necessary):

Name	Address	Relationship
<u>Fairfax Main St., LLC</u>	<u>3925 Old Lee Highway, Suite 51A, Fairfax, VA 22030</u>	<u>Applicant/Title Owner</u>
<u>J2 Engineers, Inc.</u>	<u>4080 Lafayette Center Drive, Suite 330, Chantilly, VA 20151</u>	<u>Agent/Engineer</u>
<u>Cooley LLP</u>	<u>11951 Freedom Drive, Suite 1500, Reston, VA 20190</u>	<u>Agent/Attorney</u>
<u>Kishimoto Gordon Dalaya, PC</u>	<u>1300 Wilson Blvd. Suite 250, Rosslyn, VA 22209</u>	<u>Agent/Architect</u>

(b) That the following is a list of the stockholders of all corporations of the foregoing who own ten (10) percent or more of any class of stock issued by said corporation, and where such corporation has ten (10) or less stockholders, a listing of all the stockholders (attach additional pages if necessary):

Corporation Name: See Attachment A

Name	Address	Relationship
_____	_____	_____
_____	_____	_____
_____	_____	_____

(c) That the following is a list of all partners, both general and limited, in any partnership of the foregoing (attach additional pages if necessary):

Partnership Name: See Attachment B

Name	Address	Relationship
_____	_____	_____
_____	_____	_____
_____	_____	_____

Department of Community Development and Planning  
City of Fairfax, Virginia

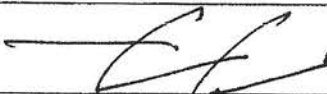
2. That no member of the City Council, Planning Commission, BZA, or BAR has any interest in the outcome of the decision. EXCEPT AS FOLLOWS: (If none, so state.)

None

3. That within five (5) years prior to the filing of this application, no member of the City Council, Planning Commission, BZA, or BAR or any member of his or her immediate household and family, either directly or by way of a corporation or a partnership in which anyone of them is an officer, director, employee, agent, attorney, or investor has received any gift or political contribution in excess of \$100 from any person or entity listed in paragraph one. EXCEPT AS FOLLOWS: (If none, so state.)

None

WITNESS the following signature: \_\_\_\_\_

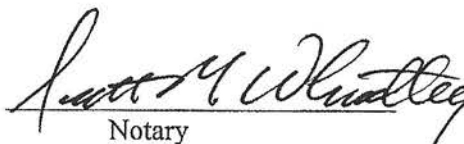
  
Applicant or Agent

ALL APPLICANTS MUST SIGN AND HAVE THEIR SIGNATURES NOTARIZED.

The above affidavit was subscribed and confirmed by oath or affirmation before me on this 1<sup>st</sup> day of July, 2013, in the State of VIRGINIA

My commission expires: 11-30-2015



  
Notary  
Public/Registration # 134422



A

1.(b) That the following is a list of the stockholders of all corporations of the foregoing who own ten (10) percent or more of any class of stock issued by said corporation, and where such corporation has ten (10) or less stockholders, a listing of all the stockholders:

Corporation Name/Agents	Address	Shareholders
1.) Fairfax Main St., LLC - Marwan Shahin - Mohammed Al-Motawakil - Al-Husain Y. Alhussein	3925 Old Lee Hwy Suite 51A Fairfax, VA 22030	FMS Investors, LLC Main Street Investment, INC. Markety, LLC Fairfax Star, LLC
2.) FMS Investors, LLC	3925 Old Lee Hwy Suite 51A Fairfax, VA 22030	Bushra Eshaq Nabila Alkibsi Amethyst Investments LLC Khaled Eldaher
3.) Main Street Investment, INC.	3925 Old Lee Hwy Suite 51A Fairfax, VA 22030	Sanabel International Holdings Ltd.
4.) Markety, LLC	1735 Gosnell Rd #302 Vienna, VA 22182	
5.) Fairfax Star, LLC	3925 Old Lee Hwy Suite 51A Fairfax, VA 22030	
6.) J2 Engineers, Inc. - James C. Bishoff - Sebastian Sandoval - Jeffrey L. Gilliland	4080 Lafayette Center Drive Suite 330 Chantilly, VA 20151	Jeffrey L. Gilliland James C. Bishoff
7.) Kishimoto Gordon Dalaya, PC - Henry Mahns - Christopher L. Gordon - Estrella Amador-Bernal	1300 Wilson Blvd. Suite 250 Rosslyn, VA 22209	Tsutomu Ben Kishimoto Christopher L. Gordon Manoj V. Dalaya

**Attachment B**

1. (c) That the following is a list of all partners, both general and limited, in any partnership of the foregoing:

Partnership Name: Cooley LLP

Agents: Antonio J. Calabrese

Mark C. Looney

Jill D. Switkin

Brian J. Winterhalter

Shane M. Murphy

Colleen P. Gillis Snow

Molly M. Novotny

Ben I. Wales

Jeffrey A. Nein

**Names and titles of the Partners:**

<b>NAME</b> <b>(First, M.I., Last)</b>	<b>Title</b> <b>(e.g. General Partner, Limited Partner, etc)</b>
Gian-Michele a Marca	Partner
Jane K. Adams	Partner
Maureen P. Alger	Partner
DeAnna D. Allen	Partner
Thomas R. Amis	Partner
Mazda K. Antia	Partner
Orion (nmi) Armon	Partner
Gordon C. Atkinson	Partner
Michael A. Attanasio	Partner
Jonathan P. Bach	Partner
Charles J. Bair	Partner
Scott (nmi) Balber	Partner
Celia Goldwag Barenholtz	Partner
Frederick D. Baron	Partner
Matthew S. Bartus	Partner
James A. Beldner	Partner
Keith J. Berets	Partner
Laura Grossfield Birger	Partner
Thomas A. Blinka	Partner
Barbara L. Borden	Partner
Jodie M. Bourdet	Partner
Wendy J. Brenner	Partner
Matthew J. Brigham	Partner
James P. Brogan	Partner
Nicole C. Brookshire	Partner
Matthew D. Brown	Partner
Alfred L. Browne, III	Partner
Matthew T. Browne	Partner
Peter F. Burns	Partner

Check if applicable:

X Additional Partnership information attached. See Attachment to Paragraph C-3.

NAME (First, M.I., Last)	Title (e.g. General Partner, Limited Partner, etc)	NAME (First, M.I., Last)	Title (e.g. General Partner, Limited Partner, etc)
Robert T. Cahill	Partner	Koji F. Fukumura	Partner
Antonio J. Calabrese	Partner	James F. Fulton, Jr.	Partner
Christopher C. Campbell	Partner	William S. Galliani	Partner
William Lesse Castleberry	Partner	W. Andrew H. Gantt III	Partner
Lynda K. Chandler	Partner	Stephen D. Gardner	Partner
Reuben (nmi) Chen	Partner	Jon E. Gavenman	Partner
Dennis (nmi) Childs	Partner	Colleen P. Gillis Snow	Partner
William T. Christiansen II	Partner	Wendy (nmi) Goldstein	Partner
Samuel S. Coates	Partner	Kathleen A. Goodhart	Partner
Sean M. Clayton	Partner	Lawrence C. Gottlieb	Partner
Jeffrey L. Cohen	Partner	Shane L. Goudey	Partner
Thomas A. Coll	Partner	William E. Grauer	Partner
Joseph W. Conroy	Partner	Jonathan G. Graves	Partner
Carolyn L. Craig	Partner	Jacqueline I. Grise	Partner
John W. Crittenden	Partner	Kenneth L. Guernsey	Partner
Janet L. Cullum	Partner	Patrick P. Gunn	Partner
Nathan K. Cummings	Partner	Jeffrey M. Gutkin	Partner
John A. Dado	Partner	John B. Hale	Partner
Benjamin G. Damstedt	Partner	Danish (nmi) Hamid	Partner
Craig E. Dauchy	Partner	Walter G. Hanchuk	Partner
Renee R. Deming	Partner	Ray (nmi) Hartman	Partner
Darren K. DeStefano	Partner	Bernard L. Hatcher	Partner
Jennifer Fonner DiNucci	Partner	David (nmi) Hernand	Partner
Michelle C. Doolin	Partner	Matthew B. Hemington	Partner
Joseph M. Drayton	Partner	Cathy Rae Herschopf	Partner
Christopher (nmi) Durbin	Partner	John (nmi) Hession	Partner
John C. Dwyer	Partner	Gordon K. Ho	Partner
Shannon (nmi) Eagan	Partner	Lila H. Hope	Partner
Gordon H. Empey	Partner	Tom (nmi) Hopkins	Partner
Sonya F. Erickson	Partner	Mark M. Hrenya	Partner
Michael R. Faber	Partner	Christopher R. Hutter	Partner
Lester J. Fagen	Partner	Jay R. Indyke	Partner
Dean (nmi) Farmer	Partner	Craig D. Jacoby	Partner
Brent D. Fassett	Partner	Eric C. Jensen	Partner
M. Wainwright Fishburn, Jr.	Partner	Robert L. Jones	Partner
Thomas J. Friel, Jr.	Partner	Barclay J. Kamb	Partner
Francis (nmi) Fryscak	Partner	Richard S. Kanowitz	Partner
Sonya F. Erickson	Partner	Kimberly J. Kaplan-Gross	Partner
		Matthew A. Karlyn	Partner
		Jeffrey S. Karr	Partner
		Sally A. Kay	Partner

Check if applicable:

X Additional information for Item C-3 is included on an additional copy of page C-3.



<b>NAME (First, M.I., Last)</b>	<b>Title (e.g. General Partner, Limited Partner, etc)</b>	<b>NAME (First, M.I., Last)</b>	<b>Title (e.g. General Partner, Limited Partner, etc)</b>
Heidi M. Keefe	Partner	Beatriz (nmi) Mejia	Partner
Kevin F. Kelly	Partner	Craig A. Menden	Partner
Jason L. Kent	Partner	Erik B. Milch	Partner
John (nmi) Kheit	Partner	Robert H. Miller	Partner
Mehdi (nmi) Khodadad	Partner	Chadwick L. Mills	Partner
Charles S. Kim	Partner	Patrick J. Mitchell	Partner
Kevin M. King	Partner	Ali M.M. Mojdehi	Partner
James C. Kitch	Partner	Ann M. Mooney	Partner
Michael J. Klisch	Partner	Timothy J. Moore	Partner
Jason M. Koral	Partner	William B. Morrow III	Partner
Barbara A. Kosacz	Partner	Howard (nmi) Morse	Partner
Kenneth J. Krisko	Partner	Frederick T. Muto	Partner
John S. Kyle	Partner	Danielle (nmi) Naftulin	Partner
Carol Denise Laherty	Partner	Ryan (nmi) Naftulin	Partner
Mark F. Lambert	Partner	Jeremy (nmi) Naylor	Partner
Matthew E. Langer	Partner	Stephen C. Neal	Partner
Samantha M. LaPine	Partner	Ian (nmi) O'Donnell	Partner
John G. Lavoie	Partner	Kathleen (nmi) Pakenham	Partner
Robin J. Lee	Partner	Nikesh (nmi) Patel	Partner
Louis (nmi) Lehot	Partner	Timothy G. Patterson	Partner
Jamie K. Leigh	Partner	Anne H. Peck	Partner
Ronald S. Lemieux	Partner	D. Bradley Peck	Partner
Natasha (nmi) Leskovsek	Partner	David G. Peinsipp	Partner
Stephane (nmi) Levy	Partner	Nicole K. Peppe	Partner
Shira Nadich Levin	Partner	Susan Cooper Philpot	Partner
Alan (nmi) Levine	Partner	Frank V. Pietrantonio	Partner
Michael S. Levinson	Partner	Mark B. Pitchford	Partner
Elizabeth L. Lewis	Partner	Michael L. Platt	Partner
Michael R. Lincoln	Partner	Christian E. Plaza	Partner
James C. T. Linfield	Partner	Anna B. Pope	Partner
Chet F. Lipton	Partner	Marya A. Postner	Partner
Samuel M. Livermore	Partner	Steve M. Przesmicki	Partner
Douglas P. Lobel	Partner	Seth A. Rafkin	Partner
J. Patrick Loofbourrow	Partner	Frank F. Rahmani	Partner
Mark C. Looney	Partner	Marc (nmi) Recht	Partner
Robert B. Lovett	Partner	Thomas Z. Reicher	Partner
Andrew P. Lustig	Partner	Michael G. Rhodes	Partner
Thomas O. Mason	Partner	Michelle S. Rhyu	Partner
Joshua (nmi) Mates	Partner	Lyle (nmi) Roberts	Partner
Keith A. McDaniels	Partner	John W. Robertson	Partner
John T. McKenna	Partner	Ricardo (nmi) Rodriguez	Partner
Bonnie Weiss McLeod	Partner	Kenneth J. Rollins	Partner
Michael J. McGrail	Partner	Richard S. Rothberg	Partner
Mark A. Medearis	Partner	Kevin K. Rooney	Partner
Laura M. Medina	Partner		

Check if applicable:

X Additional information for Item C-3 is included on an additional copy of page C-3.

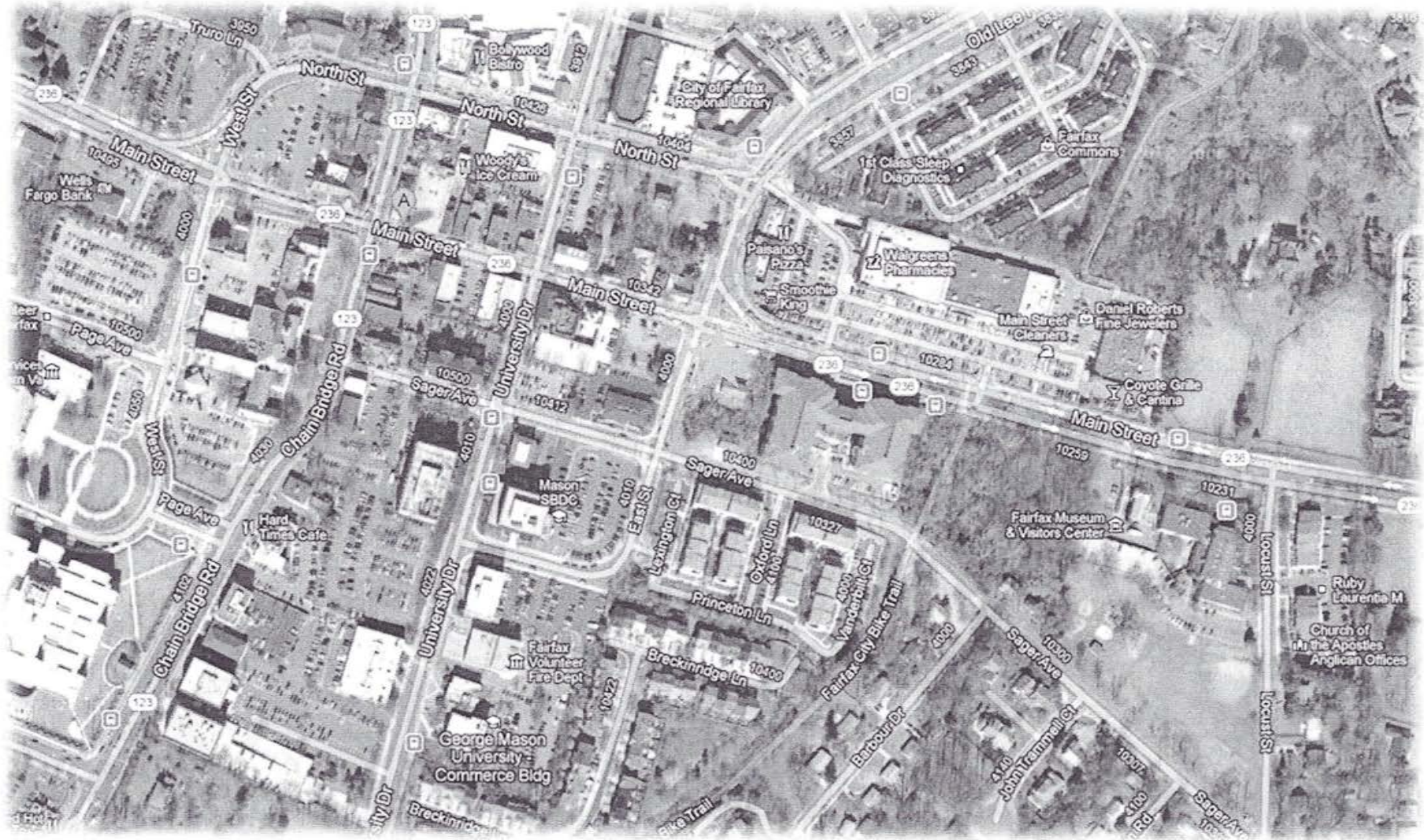




# The Mayfair

10341 Main Street

OLD TOWN FAIRFAX



BAR Submission – August 5, 2013



10341 Main Street  
BAR Application  
Statement of Support  
July 2, 2013  
Revised August 5, 2013

### **Project Background**

The Fairfax City Council approved the special exception requests of Fairfax Main Street, LLC, (the "Applicant") last fall to permit a residential infill project in the heart of downtown. The project will introduce 25 townhomes to Tax Map Parcel 57-4-02-131, a 0.878-acre parcel that is bound by Main Street to the north, East Street to the west, Sager Avenue to the south and the Providence Square condo building to the east, (the "Property"). The Property is currently occupied by an abandoned gas station and dry cleaners, both buildings which will be replaced as part of this project. During the Council's review, the BAR considered the application September 19, 2012, and spoke favorably about the architecture and design as an element of its review of the special exceptions.

### **Project Design**

The development bridges the large multifamily building to the east with the smaller, historic buildings to the west by introducing attached residential units each with its own individual street presence. The 25 townhomes are arranged in four rows that are situated to surround a plaza and open space for the community, please see enclosed sheet labeled Preliminary Landscape Plan. Six townhomes front Main Street, with individual stoops and entrances from that important roadway, seven front Sager Avenue and the remaining 12 units (six adjacent to East Street and six adjacent to Providence Square) face the internal plaza. All of the units are served by a structured parking garage that is accessed from Sager Avenue. The garage contains all of the resident and visitor parking spaces.

### **Building Design**

The Property's classical building design is inspired by the elegant brownstones of Manhattan and London and scaled in proportion to the vernacular of historic Fairfax City. Each home is finished in high quality brick, cast stone and stone exterior materials and complimented by highly detailed trim work to blend in with the character and charm of the nearby historic buildings. Also in keeping with the historic character of Main Street, the urban design for the townhomes defines the street edge and removes the parking from the streets by providing a hidden below grade parking structure. This urban plan allows the public and private realm to be dedicated to the pedestrian experience through the use of lush landscaping and high quality walking paths.

The submission includes elevations with all landscaping removed to allow the BAR a clear view of the building architecture. The building elevations should be reviewed for architecture; landscaping is shown on the landscaping plan.

### **Project Landscaping**

As part of the special exception applications approved, the City Council endorsed the Preliminary Landscape Plan. As evidenced by that exhibit, landscaping surrounds the project and is a vital component of the central plaza that creates both community space and pockets for individuals. The BAR, in its review of landscaping visible from the right of way, will be reviewing the landscaping programmed along Main and East streets and Sager Avenue. Landscaping is planned for the central plaza, but it has been shaded out on these exhibits, since those plantings are not visible from the right of way.

Per condition #4 of the special exception approvals, the Applicant will provide funding to Providence Square for plantings to the east of the Property, in lieu of providing plantings per City standards. The Applicant and the Providence Square Unit Owners Association (the "Association") reached an agreement on those plantings and the Applicant's financial obligations relating to those plantings in September 2012. Those previously agreed to plantings are shown on the landscape plan and identified as "to be planted by Providence Square".

### **Summary**

The Applicant appreciates and looks forward to the BAR's final review of this application.

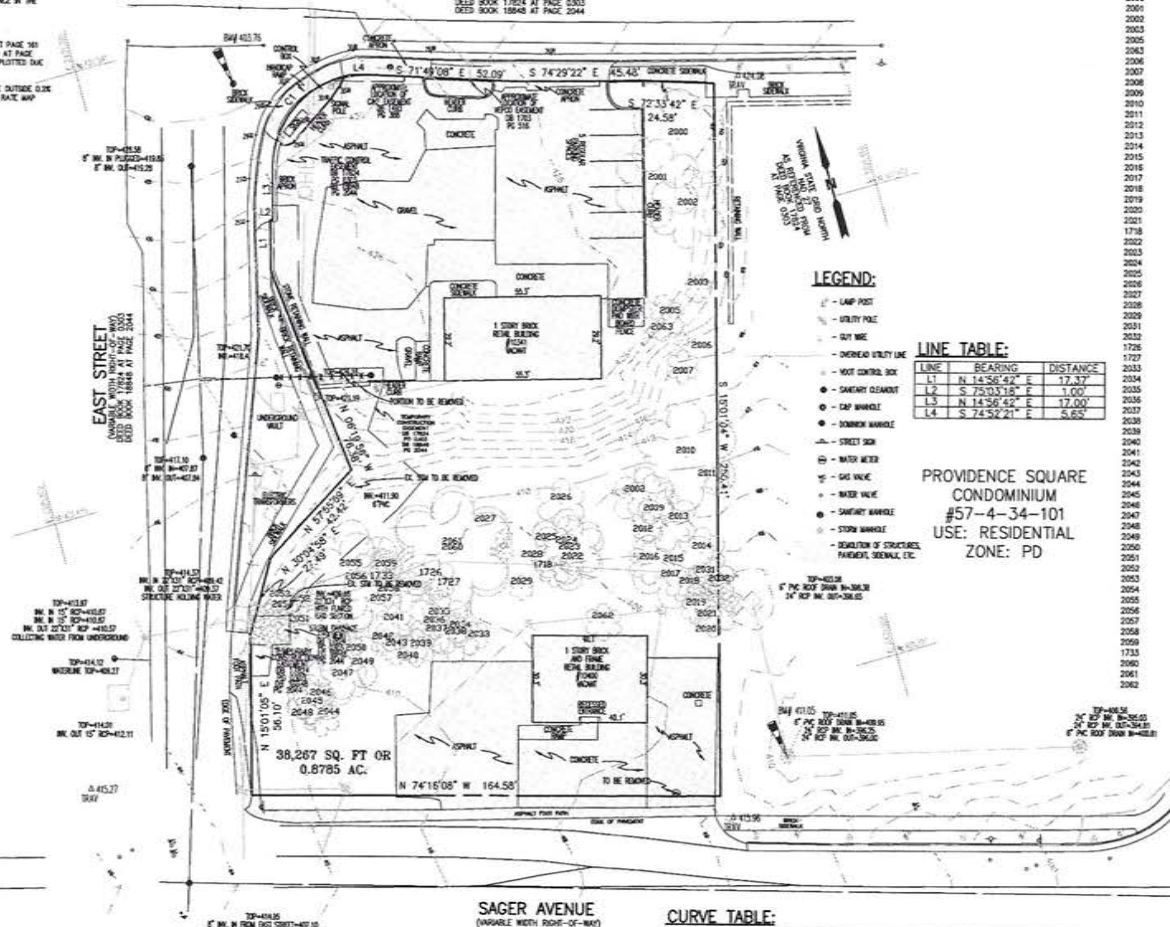


# NOTES:

1. THE PROPERTY SHOWN HEREIN IS LOCATED AS CITY OF FAIRFAX, VIRGINIA PARCEL # 57-4-34-101 AND IS CURRENTLY ZONED D-3 (COMMERCIAL).
2. THE PROPERTY USE IS RETAIL BUT THE BUILDINGS ARE CURRENTLY VACANT.
3. TITLE REPORT PROVIDED BY STEWART TITLE GUARANTY COMPANY UNDER TITLE NUMBER 12590 WITH AN EFFECTIVE DATE OF APRIL 30, 2015.
4. THE PROPERTY IS CURRENTLY IN THE NAME OF FAIRFAX MAIN ST., L.L.C. BY DEED DATED AUGUST 1, 2011 AND RECORDED IN DEED BOOK 17824 AT PAGE 2343. DEED BOOK 17824 AT PAGE 2343.
5. PURSUANT TO THE ABOVEMENTIONED TITLE REPORT IN SCHEDULE B SECTION II, THE FOLLOWING DEED NOTED MAY PERTAIN TO THE SUBJECT PROPERTY BUT CAN NOT BE PLOTTED DUE TO LACK OF EVIDENCE IN THE FIELD.
6. DEED BOOK 1825 AT PAGE 141 - EASEMENT TO WOOD
7. PURSUANT TO THE ABOVEMENTIONED TITLE REPORT, DEED BOOK A-9 AT PAGE 161 IS INCORRECT. THE CORRECT REFERENCE SHOULD BE DEED BOOK 5-9 AT PAGE 161 (EASEMENT TO FAIRFAX LONDON LIGHT AND POWER) CAN NOT BE PLOTTED DUE TO LACK OF EVIDENCE IN THE FIELD.
8. THE SUBJECT PROPERTY LIES IN ZONE "Y" - AREAS DETERMINED TO BE OUTSIDE OF THE ANNUAL CHANGED FLOORPLAN - PURSUANT TO FLOOD INSURANCE RATE MAP 555240002S HAVING AN EFFECTIVE DATE OF JUNE 02, 2006.

## MAIN STREET - ROUTE 236

(VARIABLE WIDTH RIGHT-OF-WAY)  
DEED BOOK 17824 AT PAGE 2343  
DEED BOOK 18848 AT PAGE 2044



## LEGEND:

- LAMP POST
- UTILITY POLE
- GUY WIRE
- OVERHEAD UTILITY LINE
- MOIST CONTROL BOX
- SANITARY CLEANOUT
- CAP MANHOLE
- DOWNHILL MANHOLE
- STREET SIGN
- WATER METER
- GAS VALVE
- WATER VALVE
- SANITARY MANHOLE
- STORM MANHOLE
- REGULATION OF STRUCTURES
- PARKING, SIDEWALK, ETC.

## LINE TABLE:

LINE	BEARING	DISTANCE
L1	N 14°56'42" E	17.37
L2	S 72°03'18" E	1.00
L3	N 14°56'42" E	17.00
L4	S 74°52'21" E	5.62

PROVIDENCE SQUARE  
CONDOMINIUM  
#57-4-34-101  
USE: RESIDENTIAL  
ZONE: PD

## TREE SURVEY:

POINT NUMBER	TREE TYPE	Diameter	DRIP DIAMETER
2000	WALNUT	15"	15"
2001	WALNUT	16"	15"
2002	WALNUT	14"	14"
2003	CHERRY	4"	4"
2005	SUNAC	4"	3"
2003	SUNAC	14"	5"
2006	LOCUST	4"	5"
2007	CLIM	6"	6"
2008	BOX ELDER	10"	10"
2009	BOX ELDER	8"	8"
2010	POPLAR	30"	20"
2011	BIRCH	5"	5"
2012	BOX ELDER	5"	4"
2013	BOX ELDER	10"	8"
2014	SCAG	8"	8"
2015	WILLOW	14"	12"
2016	BOX ELDER	8"	7"
2017	MAPLE	5"	5"
2018	BOX ELDER	4"	3"
2019	BOX ELDER	4"	5"
2020	BOX ELDER	4"	4"
2021	BOX ELDER	5"	7"
1718	BOX ELDER	5"	5"
2022	MAPLE	24"	14"
2023	MAPLE	24"	14"
2024	BOX ELDER	24"	14"
2025	BOX ELDER	24"	14"
2026	BOX ELDER	8"	5"
2027	BOX ELDER	8"	5"
2028	BOX ELDER	8"	5"
2029	BOX ELDER	8"	5"
2030	BOX ELDER	8"	5"
2031	BOX ELDER	8"	5"
2032	BOX ELDER	8"	5"
2033	BOX ELDER	10"	8"
2034	BOX ELDER	10"	8"
2035	BOX ELDER	10"	8"
2036	BOX ELDER	10"	8"
2037	BOX ELDER	10"	8"
2038	BOX ELDER	10"	8"
2039	BOX ELDER	10"	8"
2040	BOX ELDER	10"	8"
2041	BOX ELDER	10"	8"
2042	BOX ELDER	10"	8"
2043	BOX ELDER	10"	8"
2044	BOX ELDER CLUSTER	8" x 4"	8"
2045	BOX ELDER	8"	8"
2046	BOX ELDER	8"	8"
2047	BOX ELDER	12"	10"
2048	BOX ELDER	12"	10"
2049	POPLAR	14" x 14"	14"
2050	POPLAR	10"	8"
2051	POPLAR	11"	10"
2052	POPLAR	9"	8"
2053	POPLAR	10"	8"
2054	POPLAR	8"	5"
2055	POPLAR	18"	17"
2056	POPLAR	20"	18"
2057	POPLAR	14"	13"
2058	POPLAR	4"	3"
2059	POPLAR	4"	3"
1733	POPLAR	5"	5"
2060	MAPLE	30"	27"
2061	MAPLE	30"	27"
2062	SUNAC	7"	6"

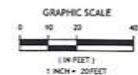
## LEGAL DESCRIPTION:

ALL THAT CERTAIN PARCELS, CONTAINING 38,267 SQUARE FEET, MORE OR LESS, AS SHOWN ON THE PLAT PROVIDED BY PHILBA SATCH WACH CO., 2006, ATTACHED TO THE CERTIFICATE OF REPORT RECORDED IN DEED BOOK 17824 AT PAGE 2343 AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.

LESS AND EXCEPT THAT PROPERTY CONVEYED BY DEED OF OUTLINE RECORDED IN DEED BOOK 18848 AT PAGE 2044 AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.

## CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING	TANGENT
C1	34.00'	47.11'	79.22°11"	43.43'	N 54°38'00" E	28.22'



J2 Engineers, Inc.  
4081 Lankford Center Drive  
Chantilly, VA 20151  
703.361.1550 (office)  
703.361.4845 (fax)  
www.j2engineers.com



PLAN: 151101-001  
DATE: 02/20/2012  
CONTOUR INT.: 2'  
SCALE: 1" = 20'

PLAN DATE:  
12/17/11  
02/20/12  
08/02/13

EXISTING CONDITIONS & DEMOLITION PLAN  
SITE PLAN  
10341 MAIN STREET  
FAIRFAX CITY, VIRGINIA

NO.	DATE	DESCRIPTION	REVISIONS

SHEET  
06  
OF  
28

25.





J2 Engineers, Inc.  
4080 Lafayette Center Drive  
Chantilly, VA 20151

703.361.1550 (office)  
703.796.4845 (fax)  
www.j2engineers.com



PLAN# 101301-001  
DATE: DECEMBER 2017  
CONTOUR INT. = 2'  
SCALE: 1" = 20'

PLAN DATE  
12/20/17  
12/20/17

SITE PLAN  
10341 MAIN STREET  
FAIRFAX CITY, VIRGINIA

NO.	DESCRIPTION	DATE

SHEET  
07  
OF  
28

MAIN STREET - ROUTE 236

SAGER AVENUE

PROVINCIAL SQUARE  
CONDOMINIUM  
#57-4-34-101  
USE: RESIDENTIAL  
ZONE: PD

- GENERAL NOTES:
1. ANY DIFFERENCES BETWEEN THE FIRST FLOOR ELEVATION OF THE BUILDING AND THE OUTDOOR ELEVATIONS AT ENTRANCES SHALL BE ACCOUNTED FOR INTERNALLY.
  2. ALL TOWNHOME UNITS WILL BE EQUIPPED WITH FIRE PROTECTION SPRINKLER SYSTEMS AND WILL BE PROVIDED A 2" PERMANENTLY MAINTAINED FIRE SERVICE LINE FOR THE FIRE PROTECTION SPRINKLER SYSTEMS.
  3. FIRE LINE SOWAGE HAS BEEN PROVIDED ON SAGER AVENUE (SDM DETAILS ON SHEET 24). UNDERGROUND LINES WILL BE LOCATED AND DETAILED WITH THE ARCHITECTURAL PLANS.
  4. THE ADA ACCESSIBLE ROUTE FROM SITE ACCESS POINTS TO THE MULTI-USE BUILDING WILL BE DETICED ON THE ARCHITECTURAL PLANS AND HAS BEEN SHOWN FOR REFERENCE BELOW.
  5. TRASH AND RECYCLING CONTAINERS WILL CONSIST OF HOUSEHOLD RECEIPTABLES AND WILL BE LOCATED IN AN ENCLOSURE ON THE LOWER PARKING LEVEL.
  6. REFER TO SHEET 22 FOR SIGHT DISTANCE PROFILES.
  7. ALL FOUNDATION DRAINAGE SHALL BE DIRECTED INTO STORM STRUCTURES 10-14.
  8. THE LOCATION AND DESIGN FOR ALL DEVELOPMENT SOWAGE SHALL BE DETERMINED BY A SEPARATE PERMIT.
  9. EAST STREET OPEN SPACE IS SUBJECT TO FINAL LANDSCAPING PER UTILITY LAYOUT.
  10. TOP OF WALL (TW) GRADES SHOWN ON THIS SITE PLAN REFLECT THE SURFACE GRADE AT TOP OF THE WALL LOCATION. REFERENCE STRUCTURAL DRAWINGS FOR ACTUAL TOP OF WALL ELEVATION.

LEGEND

EXISTING STORM DRAIN	PROPOSED GS-12 STREET SIGN
PROPOSED STORM DRAIN	EXISTING CONTOUR
EXISTING SANITARY SEWER	PROPOSED CONTOUR
EXISTING WATERLINE	PROPOSED UNITS OF CLEANING & CHANGING
EXISTING WATERLINE VALVE	EXISTING STREET LIGHT
EXISTING FIRE HYDRANT	PROPOSED STREET LIGHT
EXISTING OVERHEAD ELECTRIC & POLE	PROPOSED SIDEWALK

SEE SHEET 7A FOR  
STORM SEWER CONTINUATION

SIGHT DISTANCE LT. = 250'  
REFER TO SHEET 20 FOR  
PROFILE

MINIMUM VERTICAL CLEARANCE  
SHALL BE 14'-0" MIN.  
MINIMUM PRESSURE = 50 PS  
MINIMUM PRESSURE = 50 PS

26



JZ Engineers, Inc.  
4002 Lafayette Center Drive  
Chesley, VA 20151  
703.361.1510 (OFFICE)  
703.361.4646 (FAX)  
www.jzengineers.com



PLAN# 101-01-011  
DATE: DECEMBER 2012  
CONTOUR INT. = 2'  
SCALE: 1" = 20'

PLAN DATE  
12/12/12  
12/20/12

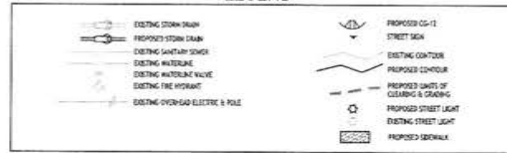
SITE PLAN - UNDERGROUND PARKING LEVEL  
SITE PLAN  
10341 MAIN STREET  
FAIRFAX CITY, VIRGINIA

NO.	DATE	REVISIONS

SHEET  
07A  
OF  
28

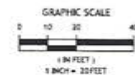
- GENERAL NOTES:
1. ANY DIFFERENCES BETWEEN THE FIRST FLOOR ELEVATION OF THE BUILDING AND THE OUTDOOR ELEVATIONS AT ENTRANCES SHALL BE ACCOUNTED FOR INTERNALLY.
  2. ALL TOWNHOME UNITS WILL BE EQUIPPED WITH FIRE PROTECTION SPRINKLER SYSTEMS AND WILL BE PROVIDED A 2" PRIMED MAINTAINED FIRE SERVICE LINE FOR THE FIRE PROTECTION SPRINKLER SYSTEMS.
  3. FIRE LANE SIGNAGE HAS BEEN PROVIDED ON SAGER AVENUE (SIGN DETAILS ON SHEET 24). UNDERGROUND LINES WILL BE LOCATED AND DETAILED WITH THE ARCHITECTURAL PLANS.
  4. THE ADA ACCESSIBLE ROUTE FROM SITE ACCESS POINTS TO THE MULTI-USE BUILDING WILL BE EXPICITLY ON THE ARCHITECTURAL PLANS AND HAS BEEN SHOWN FOR REFERENCE BELOW.
  5. TRASH AND RECYCLING CONTAINERS WILL CONSIST OF HOUSINGED RECEPTACLES AND WILL BE LOCATED IN AN ENCLOSURE ON THE LOWER PARKING LEVEL.
  6. REFER TO SHEET 22 FOR SIGHT DISTANCE PROFILES.
  7. ALL FOUNDATION DRAINS SHALL BE DIRECTED INTO STORM STRUCTURES 10-14.
  8. THE LOCATION AND DESIGN FOR ALL DEVELOPMENT SIGNAGE SHALL BE DETERMINED BY A SEPARATE PERMIT.
  9. EAST STREET OPEN SPACE IS SUBJECT TO FINAL LANDSCAPING PER UTILITY LAYOUT.
  10. TOP OF WALL (TOW) GRADES SHOWN ON THIS SITE PLAN REFLECT THE SURFACE GRADE AT TOP OF THE WALL LOCATION. REFERENCE STRUCTURAL DRAWINGS FOR ACTUAL TOP OF WALL ELEVATION.

### LEGEND

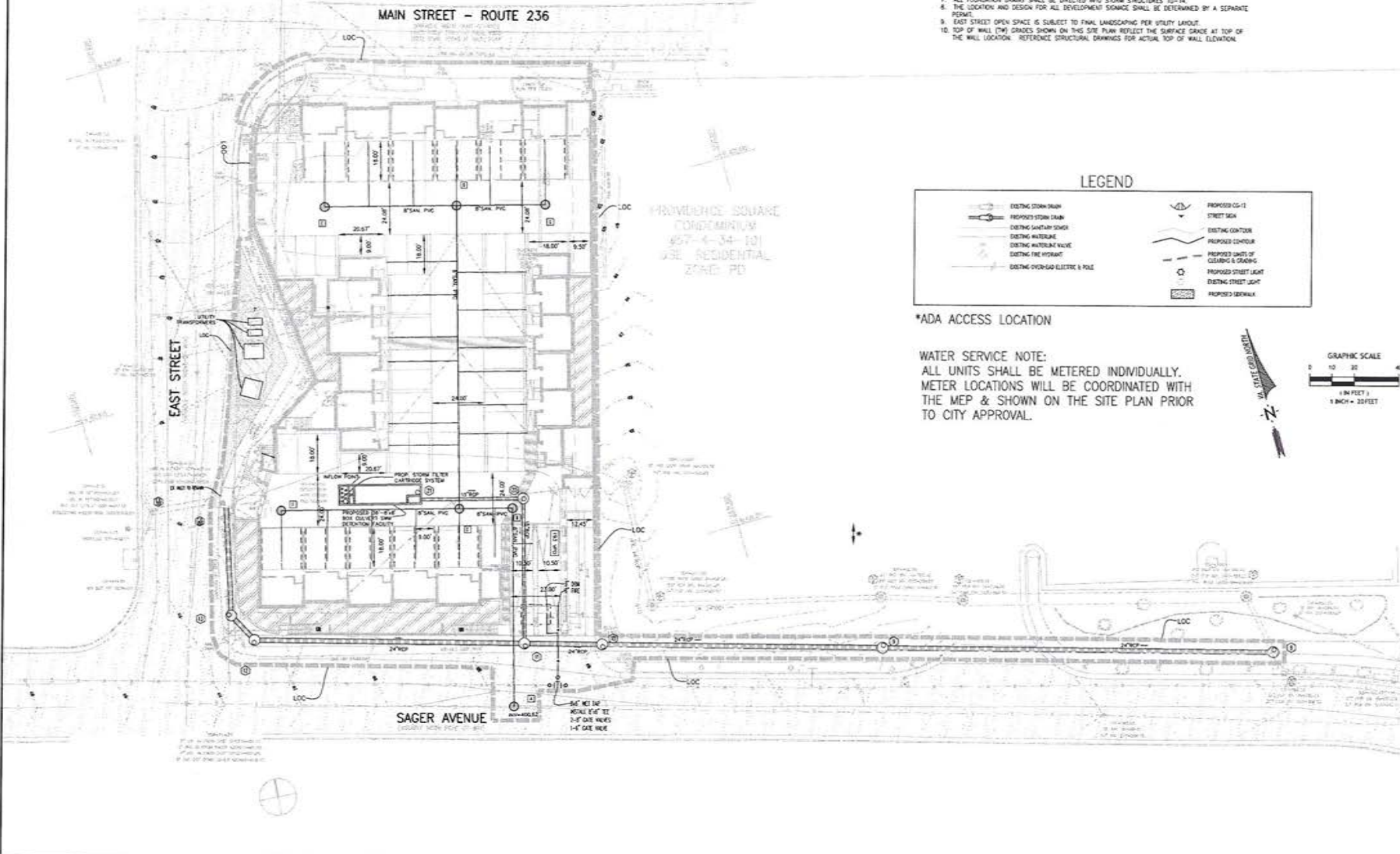


\*ADA ACCESS LOCATION

WATER SERVICE NOTE:  
ALL UNITS SHALL BE METERED INDIVIDUALLY.  
METER LOCATIONS WILL BE COORDINATED WITH  
THE MEP & SHOWN ON THE SITE PLAN PRIOR  
TO CITY APPROVAL.

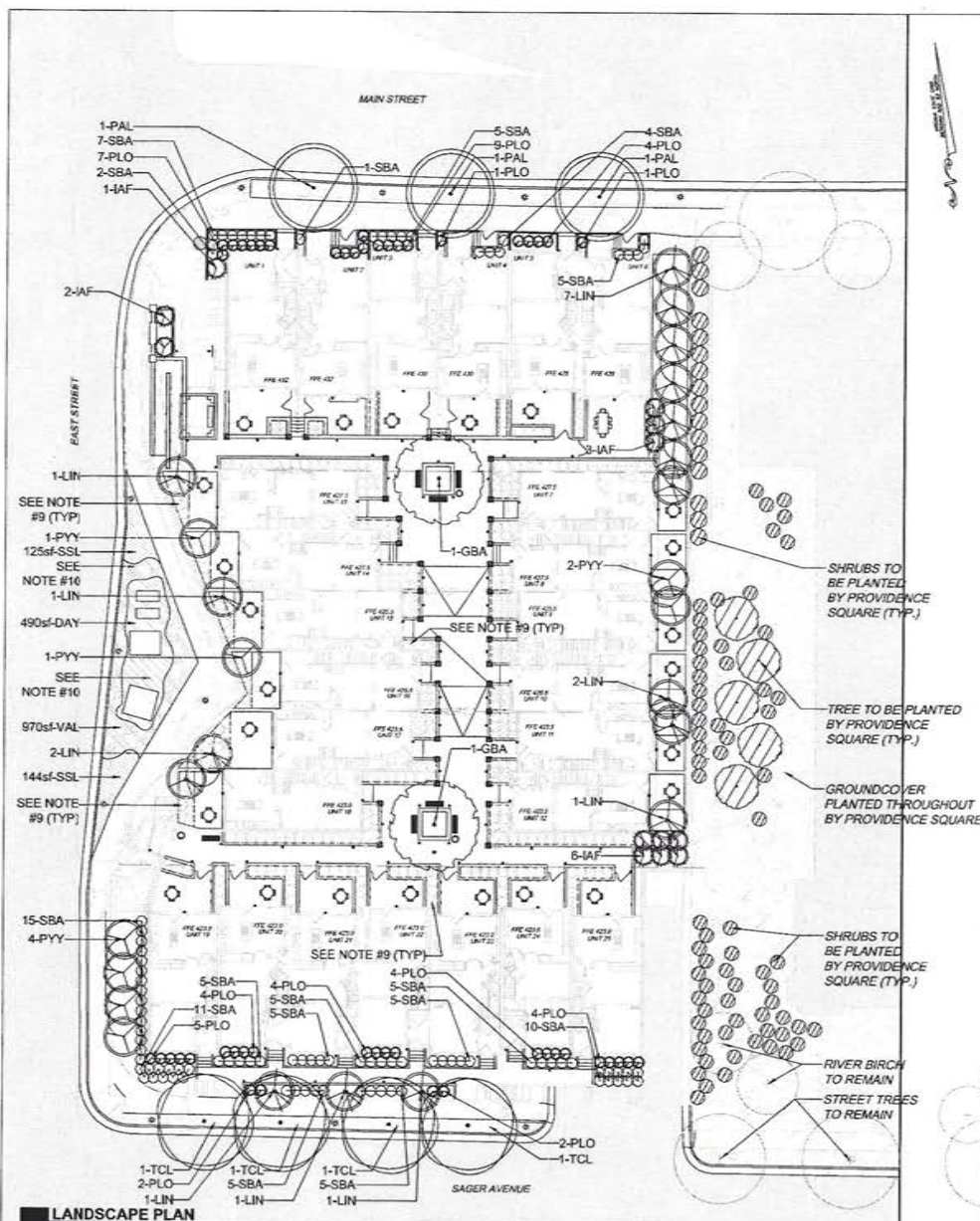


PROVIDENCE SQUARE  
CONDOMINIUM  
857-4-34-101  
USE RESIDENTIAL  
ZONE PD

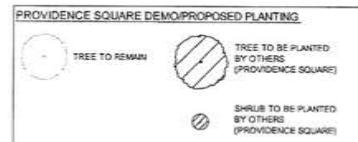


27.





SCHEDULE A - Plant Schedule							
10431 Main Street, City of Fairfax, Virginia							
KEY	QTY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE	Projected 30yr Canopy	Total Species Canopy
<b>TREES</b>							
GBA	2	Category IV Deciduous Canopy Trees	Autumn Gold Maidenhair Tree	588	3" Cal	250	536
PAL	3	Gringobria Autumn Gold	London Planetree	588	3" Cal	250	736
TCL	4	Palms x acerifolia	Littleleaf Linden	588	3" Cal	175	736
LIN	17	Category II Ornamental Trees	Natchez Crape Myrtle	588	3" Cal	175	2975
PYY	6	Laportea indica 'Hatchet'	Yucca filifera	588	3" Cal	175	1400
						<b>Total Projected 30yr Canopy</b>	<b>5325</b>
						Required Coverage (16% of 30,000)	4800
						Percentage of Coverage Provided	16.33%
<b>SHRUBS</b>							
<b>Large Evergreen</b>							
IAF	12	Ben x latifolia 'Foster'	Foster's Holly		12"	12"	12"
PLO	48	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel		12"	12"	12"
SBA	96	Sorbus x domestica 'Anthony Waterer'	Anthony Waterer Spirea		12"	12"	12"
<b>PERENNIALS</b>							
SSL	209sf	Schizanthus scoparium	Little Bluestem		12"	Planted 12" C C	
DAY	493sf	Hemerocallis	Daylily		9"	Planted 12" C C	
VAL	970sf	Vaccinium angustifolium	Late Lowbush Blueberry		9"	Planted 12" C C	



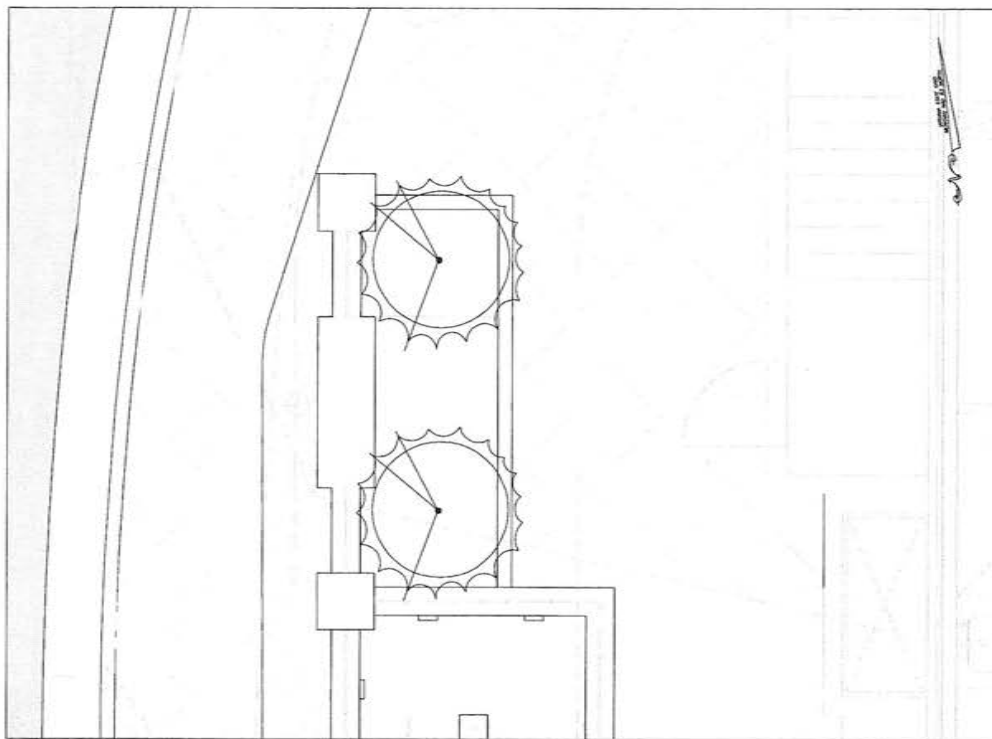
#### LANDSCAPE NARRATIVE:

LANDSCAPING ALONG MAIN STREET REFLECTS THE URBAN CHARACTER OF THE CITY OF FAIRFAX. TREES HAVE BEEN PROVIDED ALONG EAST STREET WHERE THEY ARE NOT IN CONFLICT WITH EXISTING UTILITIES. ALONG SAGER AVENUE, STREET TREES HAVE BEEN PROVIDED TO CONTINUE THE URBAN CHARACTER SET BY EXISTING DEVELOPMENTS TO THE SOUTH & EAST. THE PLAZA SPACE IN THE COURTYARD OF THE TOWNHOUSES WILL FEATURE A BLEND OF MATERIALS, WALLS, FENCING AND HARDSCAPES TO DEFINE PUBLIC AND PRIVATE SPACE. LANDSCAPE WILL BE A BLEND OF SMALL DECIDUOUS TREES, EVERGREEN SHRUBS AND PERENNIAL FLOWERS AND GRASSES. THE COURTYARD WILL BE FLANKED BY TWO SPECIMEN TREES, AN ENTRY COURTYARD ALONG EAST AND MAIN WILL WELCOME VISITORS AND RESIDENTS.

#### NOTES:

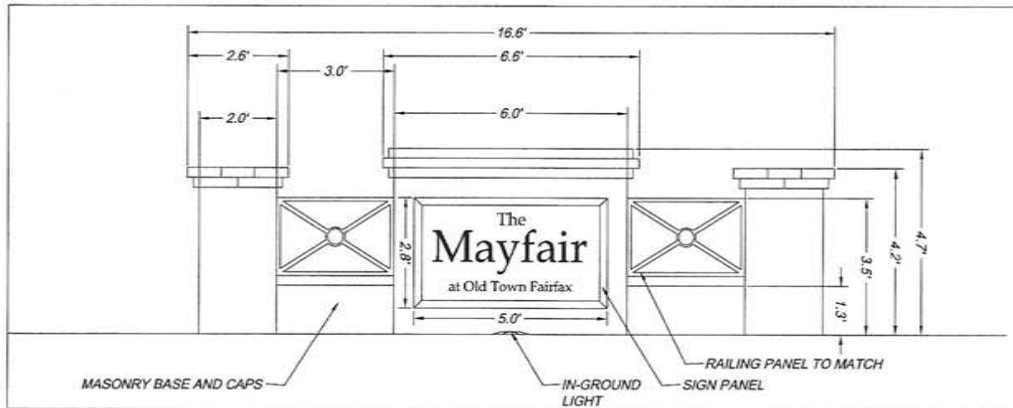
1. ALL LANDSCAPE PLANS SHALL BE COORDINATED WITH THE CITY OF FAIRFAX DEPARTMENT OF COMMUNITY DEVELOPMENT AND PLANNING.
2. THE OUTLINE OF THE BUILDING AND LANDSCAPE SHOWN FOR PROVIDENCE SQUARE ARE SHOWN FOR INFORMATIONAL AND CONTEXTUAL PURPOSES ONLY FROM A SET OF PLANS DATED: MAY 6TH, 2001 FROM VMA ENGINEERS AND DEVEREAUX AND ASSOCIATES ARCHITECTS.
3. FINAL LOCATION OF TREES ON THE PROVIDENCE SQUARE SITE TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT, OWNER, AND REPRESENTATIVES FROM THE CITY OF FAIRFAX.
4. LANDSCAPING PLANTED AS PART OF THIS PROJECT WILL BE DONE IN SUCH A MANNER AS TO NOT CONFLICT WITH UNDERGROUND UTILITIES.
5. TREES LISTED HERE ARE REPRESENTATIVE OF WHAT MAY BE PLANTED AS PART OF THE LANDSCAPE PROGRAM. IT IS NOT AN EXCLUSIVE LIST AND NOT ALL TREES LISTED HERE MUST BE USED.
6. SITE FURNITURE: TYPE AND LOCATION IS SUBJECT TO CHANGE, PROVIDED IT IS IN KEEPING WITH THE CHARACTER REPRESENTED HERE.
7. COURTYARD LIGHTING IS TO BE SOLAR LIGHTING WITH FINAL LOCATIONS TO BE MADE AT SITE/BUILDING FINAL PLAN.
8. BUFFER YARD PLANTINGS ALONG THE EASTERN BOUNDARY WILL BE COMPLETED BY PROVIDENCE SQUARE.
9. PLANTINGS SHOWN IN COURTYARD OR PRIVATE TERRACE AREAS OTHER THAN THOSE SPECIFICALLY CALLED OUT AND COUNTED TOWARDS THE SITE'S CANOPY COVERAGE CALCULATIONS ARE SUBJECT TO BE CHANGE BASED ON FINAL STRUCTURAL, CIVIL AND ARCHITECTURE PLANS.
10. PERENNIAL BEDS DESIGN PLANTED ALONG EAST STREET ARE SUBJECT TO BE CHANGED BASED ON FINAL UTILITY PLANS AND FINAL APPROVAL FROM THE UTILITY COMPANY.





DETAIL PLAN OF ENTRANCE SIGN

Scale: 1/2" = 1'-0"



ENTRANCE SIGN DETAIL - ILLUSTRATIVE PURPOSES ONLY

Scale: NTS



PLANS: 10-201-2015  
DATE: JANUARY 2012  
CONTOUR INT.: 4'  
SCALE:

PLAN DATE:  
10-20-15  
10-20-15  
08-20-15

PRELIMINARY ENTRANCE SIGN DESIGN  
10431 MAIN STREET  
FAIRFAX CITY, VIRGINIA

APPROVED FOR SUBMISSION COMMENTS  
DATE  
REVISIONS

1. E-S-17  
DATE

SHEET  
19.1  
OF  
26

29

**PRELIMINARY LIGHTING PLAN**  
**10431 MAIN STREET**  
FAIRFAX CITY, VIRGINIA

NO.	DATE	REVISIONS
1	8-3-17	ADDRESS CHANGE, LANSKAP COMMENTS

SHEET  
**19.2**  
OF  
**28**

**LIGHTING KEY AND QUANTITIES**

- STEPWALL MOUNTED LIGHT - 88 LIGHTS  
Philips/Hasco Aluminum Stepyle (RSC2) - Black
  - BOLLARD LIGHT - 57 LIGHTS  
Aluminum Bollard (S88L1) - Black
  - TOWNHOME MOUNTED LIGHT - 50 LIGHTS  
Aluminum Bollard (S88L1) - Black
- Note:  
1. Light to be mounted to the wall but have a similar luminaire to the bollard light.

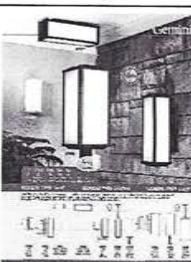
GENERAL NOTES:  
1. LIGHT QUANTITIES, LOCATION, AND SELECTION  
ARE SUBJECT TO CHANGE PENDING FINAL LIGHTING  
DESIGN BY ELECTRICAL ENGINEER.



STEPWALL MOUNTED LIGHT



LANDSCAPE BOLLARD LIGHT



HOUSE LIGHT

Philips/Hasco Stepyle (RSC2) Stepwall Light

Item	Qty	Description
1	88	Philips/Hasco Stepyle (RSC2) Stepwall Light

Aluminum Bollard (S88L1) Landscape Light

Item	Qty	Description
1	57	Aluminum Bollard (S88L1) Landscape Light

Aluminum Bollard (S88L1) House Light

Item	Qty	Description
1	50	Aluminum Bollard (S88L1) House Light

GENERAL NOTES:  
1. LIGHT QUANTITIES, LOCATION, AND SELECTION  
ARE SUBJECT TO CHANGE PENDING FINAL LIGHTING  
DESIGN BY ELECTRICAL ENGINEER.

**LIGHTING PLAN**

Scale: 1/16" = 1'-0"

30.



**10341 MAIN STREET**  
FAIRFAX CITY, VA.

CONCEPTUAL DEVELOPMENT PLAN  
SPECIAL EXCEPTION

**FAIRFAX MAIN STREET, LLC**

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EXPLOS	WT	CONCNS
--------	----	--------

SID	DESCRIPTION
048	
049	CONCEPT OF RELIGION - JESUS

REVENUE	11061.00
---------	----------

048 08/05/13

Scale 1/8"=1'

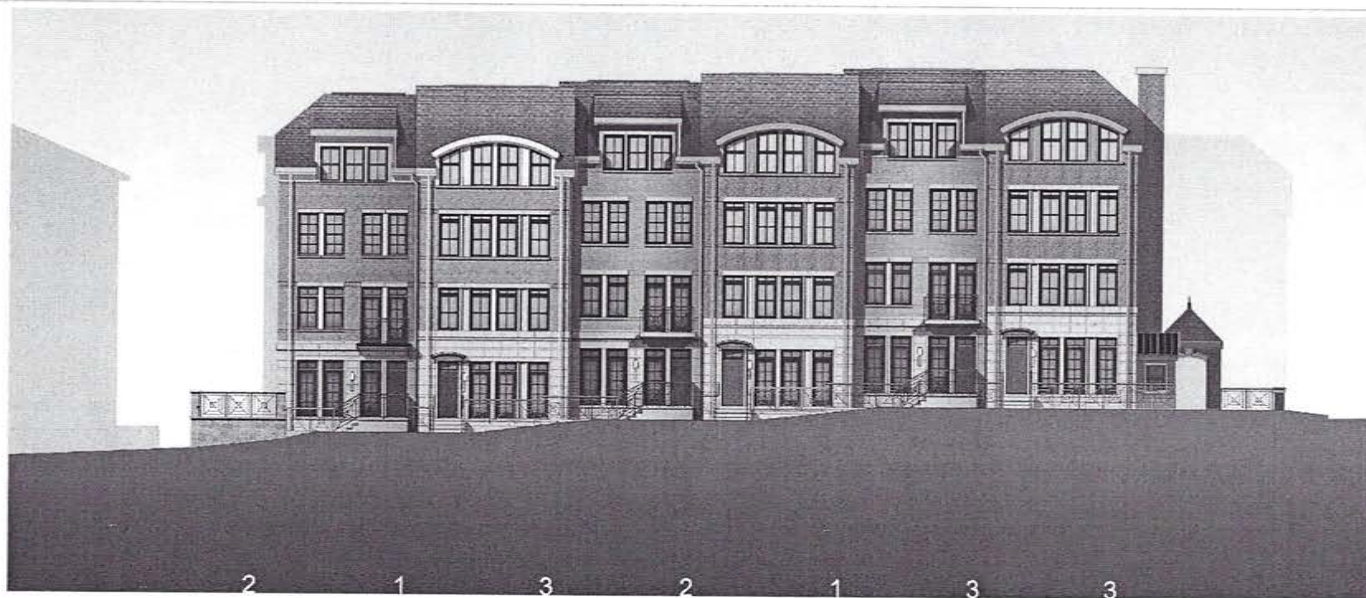
RENDERED SITE PLAN

Downloaded from <http://ajph.org/> at University of California, San Diego on February 19, 2015

FOR ILLUSTRATIVE PURPOSES ONLY







NORTH ELEVATION (MAIN STREET)



SOUTH ELEVATION (SAGER AVENUE)

KGD

10341 MAIN STREET  
FAIRFAX CITY, VA.  
CONCEPTUAL DEVELOPMENT PLAN  
SPECIAL EXCEPTION  
FAIRFAX MAIN STREET, LLC

10341 MAIN STREET  
FAIRFAX CITY, VA.  
CONCEPTUAL DEVELOPMENT PLAN  
SPECIAL EXCEPTION  
FAIRFAX MAIN STREET, LLC

10341 MAIN STREET

10341 MAIN STREET

10341 MAIN STREET

08/05/13

1/8"=1'-0"

NORTH AND SOUTH ELEVATIONS

A300

FOR ILLUSTRATIVE PURPOSES ONLY





EAST ELEVATION



WEST ELEVATION (EAST STREET)

KGD

KENNEDY GRUBBS DESIGN, LLC

10341 MAIN STREET  
FAIRFAX CITY, VA  
www.kgdarchitecture.com

DATE: 08/05/13

10341 MAIN STREET  
FAIRFAX CITY, VA  
CONCEPTUAL DEVELOPMENT PLAN  
SPECIAL EXCEPTION  
FAIRFAX MAIN STREET, LLC

DATE: 08/05/13

SCALE: 1/8" = 1'-0"

EAST AND WEST ELEVATIONS

A301

FOR ILLUSTRATIVE PURPOSES ONLY

Color Scheme	UNIT						SITE WALL	
	UNIT BRICK	WINDOWS	UNIT BASE	TRIM	ROOF (SHINGLE)	ROOF (METAL)	STONE	BRICK
1	Redland Dorchester #029	Jeld Wen Clad Dark Chocolate	Arriscraft Renaissance "Wheat"	McCormick "Sand Castle" #8482	Certainteed Landmark Colonial slate	Englert "Mansard Brown"	Nateral Stone Veneers "Camelback / Sydney Blend"	Redland Quaker Antique #650
2	Redland Quaker Antique #650	Jeld Wen Clad Dark Chocolate	Arriscraft Renaissance "Wheat"	McCormick "Dover Tint" 8508	Certainteed Landmark Colonial slate	Englert "Medium Bronze"	Nateral Stone Veneers "Camelback / Sydney Blend"	Redland Quaker Antique #650
3	Redland King William Antique #410	Jeld Wen Clad Dark Chocolate	Arriscraft Renaissance "Wheat"	McCormick Antigua Rose "8775"	Certainteed Landmark Colonial slate	Englert "Matt Black"	Nateral Stone Veneers "Camelback / Sydney Blend"	Redland Quaker Antique #650

# COLOR SCHEMES

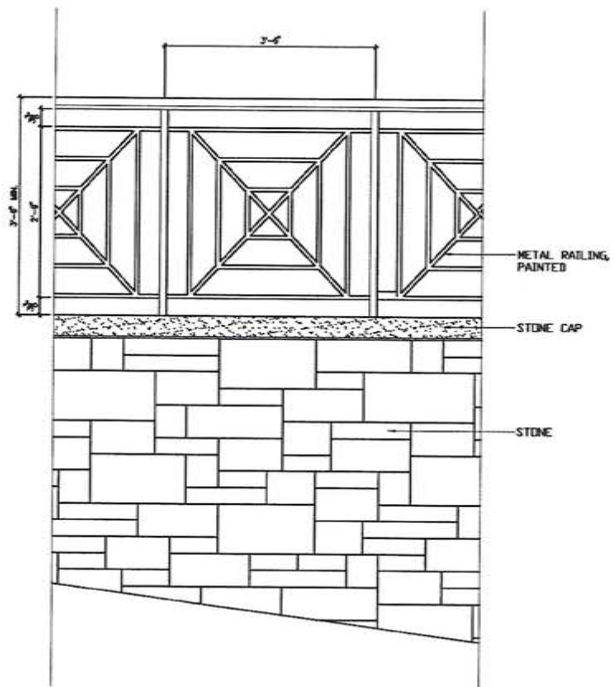
AUGUST 5, 2013

PILLARS DEVELOPMENT

10341 MAIN STREET  
Fairfax, Virginia

KISHIMOTO | GORDON | DALRYMPLE





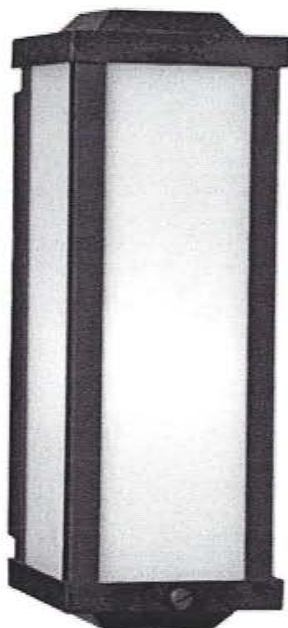
SITE WALL STONE

AUGUST 5, 2013

PILLARS DEVELOPMENT

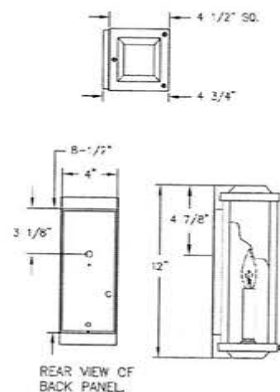
10341 MAIN STREET  
Fairfax, Virginia

KISHIMOTO | GORDON | DALAYA PC



## Small Gemini Wall Mount (B7999) Specification Sheet

Project Name:	Location:	MFG: Hanover Lantern
Fixture Type:	Catalog No.:	Qty:



**CERTIFICATIONS:**  
ETL Listed to UL 9 safety standards for wet locations. cETL Listed to Canadian safety standards for wet locations.

**Height:**  
12"

**Width:**  
4 5/8"

**Projection:**  
4 3/8"

**Top to Outlet:**  
4 7/8"

**Max. Weight:**  
4.75 lb.

### Specifications

**CONSTRUCTION:**  
Extruded aluminum legs with "U" channel secure cage panels. Cast aluminum back panel. Cast aluminum square end caps.

**FINISH:**  
Resistant TGIC thermoset polyester powder coat paint is electrostatically applied to every fixture. Specially formulated for Philips Outdoor Lighting, it provides UV protection, and the highest temperature rating in the industry. In addition to the standard color choices shown, a spectrum of custom colors is available.

**PANELS/LENS/GLOBE:**  
Set of 3 Opal Acrylic (OA) panels (standard). Acrylic panels only.

**LAMPING:**  
25W maximum B10 lamp per candelabra base. Lamp is not included. Higher wattages may be used on y with glass panels installed.

**ELECTRICAL ASSEMBLY:**  
Single Candelabra socket with painted aluminum sleeve. Fixture is pre-wired with 16 AWG black, white, and ground wires. Lantern will be prewired and tested. All electrical components are ETL listed.

**MOUNTING:**  
See template for dimensions & mounting instructions.

**WARRANTY:**  
Lifetime limited warranty.

### Ordering Guide

Example: B7999 ABS B C1

Product Code	Small Gemini Wall Mount
<b>Finish</b>	ABS Antique Brass ADP Antique Copper ARD Antique Red ASI Antique Silver BLK Black BRN Brown BRZ Bronze FGN Forest Green GRA Granite IRN Ironstone KSL Kusto Stone SRT Shadow Rust VBR Verde Bronze VCP Verde Copper VGR Verde VTC Verde Copper VSL Weathered WHI White
<b>Panel/Globe</b>	B Opal Acrylic (standard) C Clear Seeded Acrylic E Clear Textured Acrylic D Bronze Tone Acrylic A Clear Acrylic P Polycarbonate M Opal Polycarbonate G Prismatic Polycarbonate
<b>Lamping</b>	C1 Candelabra

Page 1 of 2

**PHILIPS**  
**Hanover**  
LANTERN

Note: Philips reserves the right to modify the above details to reflect changes in the cost of materials and/or production and/or design without prior notice.  
100 Carbury Drive, Lititz, PA 17340 | P: +1-717-359-7131 F: +1-717-359-8715 | <http://www.hanoverlantern.com> | Copyright 2013 Philips

UNIT ENTRY LIGHT

AUGUST 5, 2013

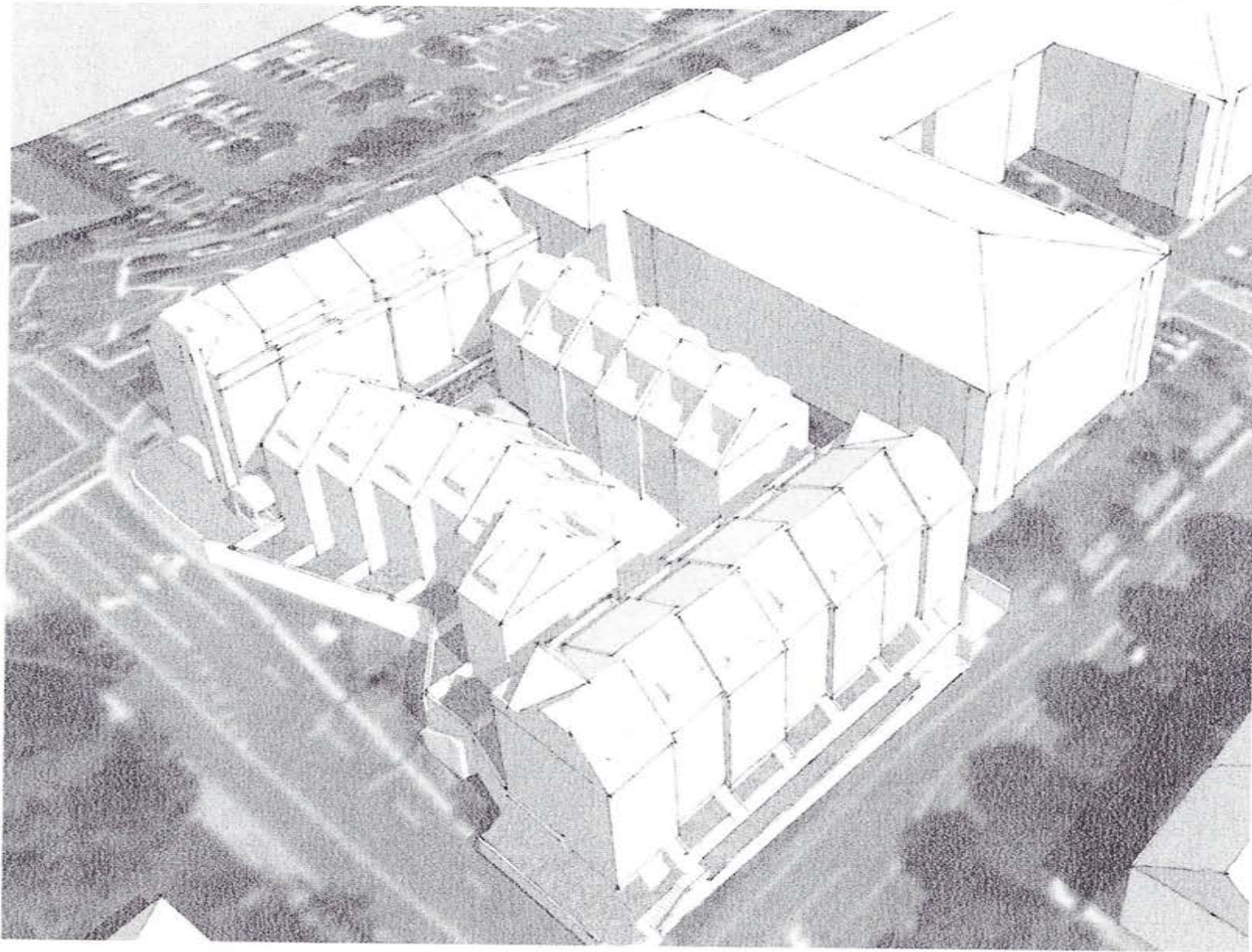
PILLARS DEVELOPMENT

10341 MAIN STREET  
Fairfax, Virginia

KISHIMOTO GORDON DALAYA PC

36-





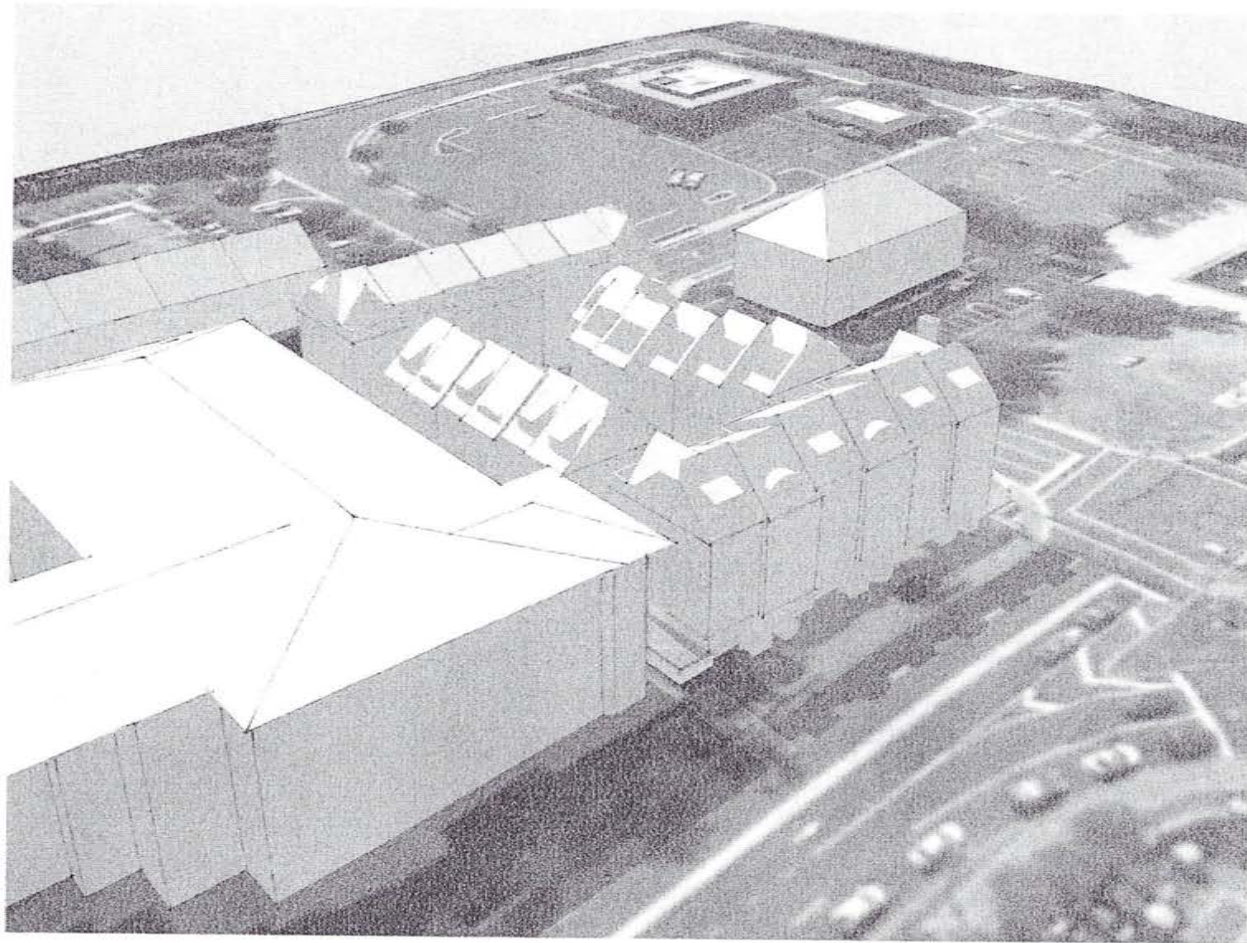
3D MASSING

AUGUST 5, 2013

PILLARS DEVELOPMENT

10341 MAIN STREET  
Fairfax, Virginia

KISHIMOTO | GORDON | DALAYA PC



3D MASSING

AUGUST 5, 2013

PILLARS DEVELOPMENT

10341 MAIN STREET  
Fairfax, Virginia

KISHIMOTO | GORDON | DALAYA PC



## Exhibit "A"

### TEMPORARY ACCESS AGREEMENT

This agreement ("Agreement") is made on September ~~25<sup>th</sup>~~<sup>26<sup>th</sup></sup>, 2012, by and between **PROVIDENCE SQUARE UNIT OWNERS ASSOCIATION**, (the "Association") and **FAIRFAX MAIN ST., L.L.C.**, a Virginia limited liability company ("FMS").

R-1. The Association represents the unit owners of Providence Square Condominium located at 10328 Sager Avenue, Fairfax, Virginia 22030 in the City of Fairfax, Virginia, on a parcel of real property identified as Fairfax City Parcel Number 57-4-34 ("Association's Parcel"), on which sit the Providence Square Condominium and other improvements including, without limitation, landscaping.

R-2. FMS is the owner of that certain real property located at 10341 Main Street, Fairfax, Virginia 22030 in the City of Fairfax, Virginia identified as Fairfax City Parcel Number 57 4 02 131 ("FMS Parcel"), on which FMS intends to construct twenty five (25) residential townhouses with an underground parking garage and related improvements (the "Project").

R-3. The development of the Project requires FMS' employees, agents, contractors and sub-contractors to temporarily access a portion of the Association's Parcel shown on the drawing attached as Exhibit A (the "Licensed Use Area") for construction of the Project.

R-4. The Association agrees to grant to FMS access to the Licensed Use Area for the construction of the Project.

### AGREEMENT

1.1. **Grant of License.** The Association hereby grants a license to FMS, its contractors and agents, to the Licensed Use Area for the purpose of constructing the Project subject to the following conditions: (i) all equipment and materials used or placed in or on the Licensed Use Area shall be and remain the property of FMS, its contractors and/or agents ; (ii) FMS and its agents shall have full and free use of the Licensed Use Area for the purposes named herein, and shall have all rights and privileges reasonably necessary for the exercise of the license rights for the purpose of constructing the Project; provided, however, that the foregoing rights shall not be construed to allow FMS to erect any building or wall of a permanent nature in or on the Licensed Use Area or any other portion of the Association's Parcel; and provided further that the Licensed Use Area shall be used only during periods of actual surveying, construction, or maintenance during the construction of the Project, and no heavy equipment larger than a bobcat shall be used in the Licensed Use Area.

1.2. **License Term.** The term of the License and all right, title and interest of FMS in and to the Licensed Use Area shall commence upon execution of this Agreement, provided FMS shall not enter the Licensed Use Area until it has obtained all necessary approvals from the City of Fairfax (the "City") for construction of the Project, and shall continue until 30 days following the City's issuance of the 25<sup>th</sup> Occupancy Permit for the Project, unless the City requires FMS to

perform additional work in the Licensed Use Area to achieve bond release (the "License Term").

1.3. **Access to Licensed Use Area.** Except in the case of a medical emergency, the means and location of access by FMS to and from the Licensed Use Area shall be solely over and across the Licensed Use Area. FMS shall not permit any garbage, trash or debris to be deposited on the Licensed Use Area during the construction of the Project, nor shall FMS be permitted to store any equipment in the Licensed Use Area overnight. FMS shall only have access to the Licensed Use Area between the hours of 7 a.m. and 6 p.m. Monday through Saturday during the License Term.

1.4. **Structural Integrity of the Association's Landscaping and Improvements.** The work by FMS pursuant to the Agreement shall not lessen the structural integrity of the Association's landscaping or improvements in any way. The Project shall be designed, constructed and installed to avoid any material subsidence of or damage to any part of Association's Parcel or the improvements thereon. Prior to FMS' initial entrance of the Licensed Use Area, a joint inspection by representatives of FMS and the Association shall be conducted to establish a baseline condition of the existing landscaping and improvements in the Licensed Use Area. Such conditions shall be documented with copies provided to both FMS and the Association. No later than twelve (12) months following the issuance of the twenty-fifth (25<sup>th</sup>) certificate of occupancy by the City of Fairfax, a second joint inspection by representatives of FMS and the Association shall be conducted to assess whether any damage to the Licensed Use Area or other Association property occurred and whether such damage, if any, arose from the construction of the Project. If the second bilateral inspection determines that damage directly or indirectly caused by construction of the Project occurred, FMS shall be responsible to repair or replace the damaged items within 30 days of the joint inspection.

1.5. **Landscaping Budget.** FMS agrees to pay the Association, prior to the end of the License Term, a one-time payment of Twenty-four Thousand Dollars \$24,000 to purchase and install landscaping in the Licensed Use Area. Once FMS has provided this one-time payment, it shall be relieved of any further responsibility under this Agreement. This sum shall not be applied to any damages to which Section 1.4 of this Agreement refers.

1.6. **Tree Removal.** FMS agrees to remove at its expense all of the trees in the area identified on Exhibit B1 as "Plantings to remove". The two trees shown on Exhibit B2 shall remain. Tree removal shall include removal of the stumps.

- SIGNATURE PAGES TO FOLLOW -



IN WITNESS WHEREOF, the parties have executed this Agreement with the specific intent that it be effective as of September 25, 2012.

**Association:**

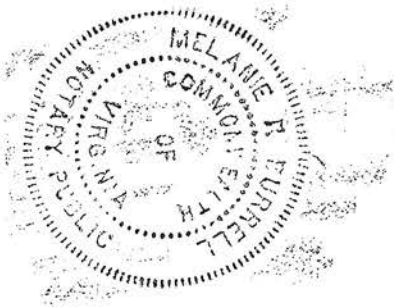
Providence Square Owners Association

By: Suzanne S. Bidlake  
(name) SUZANNE S. BIDLAK  
(title) PRESIDENT

STATE OF VIRGINIA  
CITY/COUNTY OF FAIRFAX, to wit:

The foregoing instrument was acknowledged before me on September 25, 2012, by (name) Suzanne S. Bidlake, (title) President of Providence Square Owners Association, a non stock Corp., on behalf of the association.

Melanie R. Burrell  
Notary Public  
Registration Number: #350537  
My commission expires: 10/31/2012



**FMS:**

Fairfax Main St., L.L.C.

a Virginia limited liability company

By: Fairfax Main St. Management, L.L.C.

a Virginia limited liability company, Manager

By: [Signature]  
Al-Husain Y. Al-Hussain, Manager

STATE OF VIRGINIA

CITY/COUNTY OF FAIRFAX, to wit:

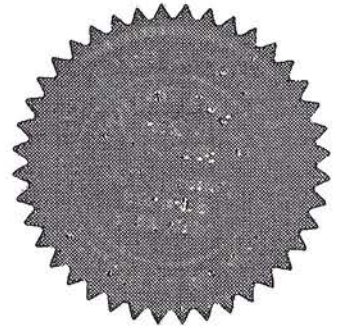
The foregoing instrument was acknowledged before me on September 25, 2012, by Al-Husain Y. Al-Hussain, Manager of Fairfax Main St. Management, L.L.C., a Virginia limited liability company, Manager of Fairfax Main St., L.L.C. a Virginia limited liability company, on behalf of the company.

Ali Ahmed Almutawakil [Signature]  
Notary Public

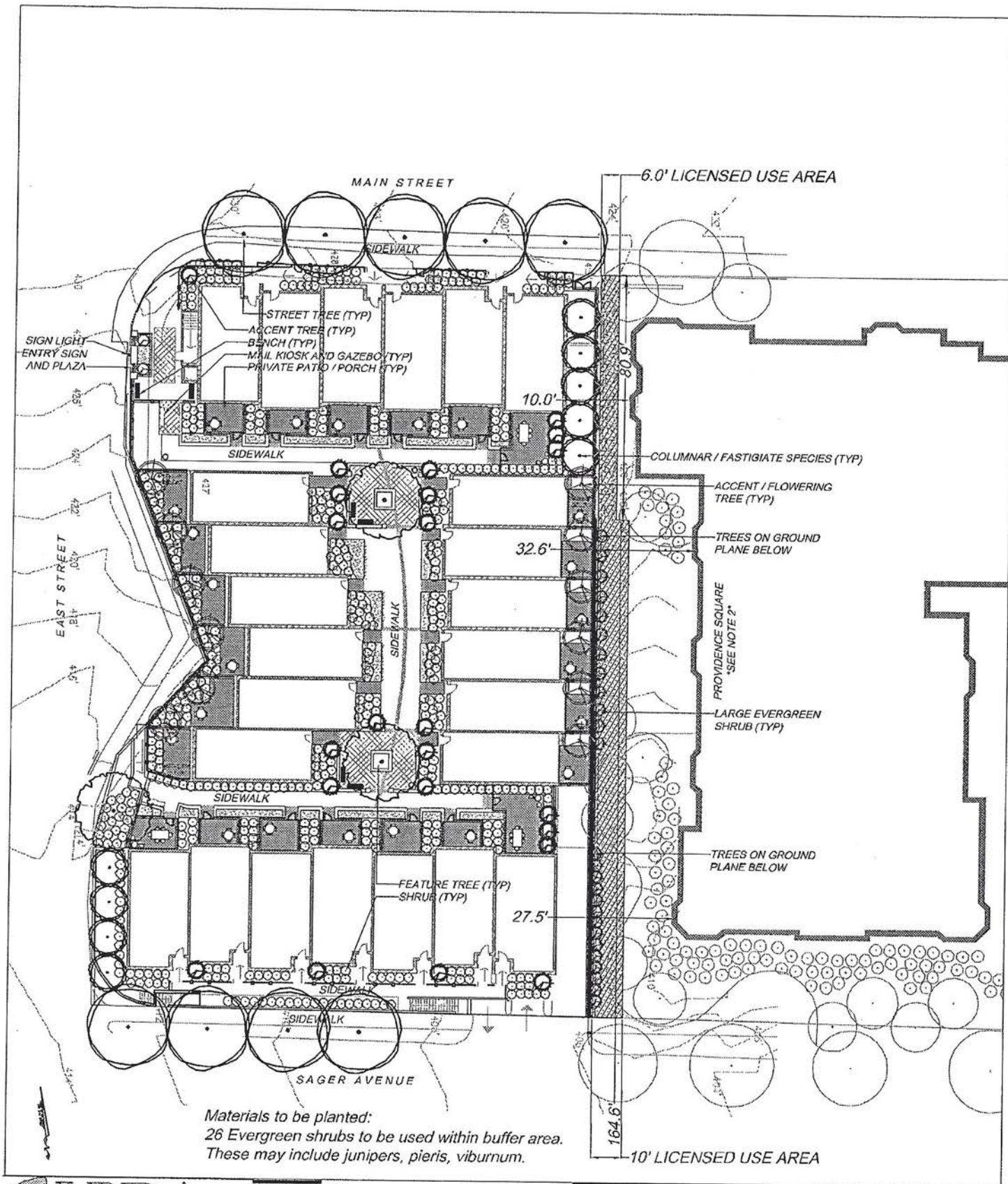
Registration Number: 7363668

My commission expires: 3-31-14

Ali Ahmed Almutawakil  
NOTARY PUBLIC  
Commonwealth of Virginia  
Reg. # 7363668  
My Commission Expires 3/31/2014









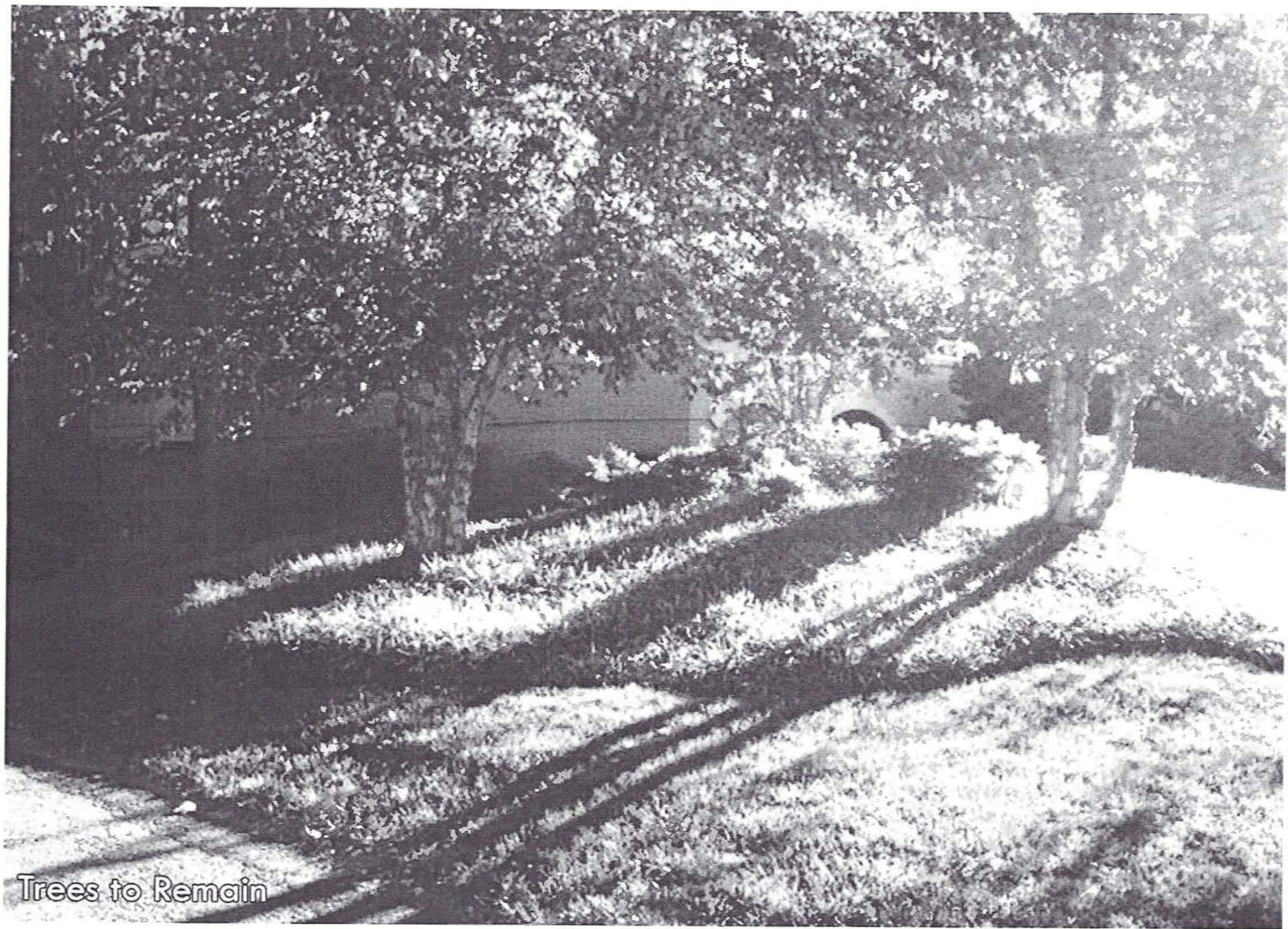


Plantings to remove

Exhibit B1

44.





Trees to Remain

Exhibit B2



Meeting Date: 9-4-13

Agenda Item: 4

## Board of Architectural Review

### Work Session

**DATE:** September 4, 2013  
**TO:** Board of Architectural Review Chair and Members  
**FROM:** Mike Jaskiewicz, AICP, BAR Liaison *MJ*  
**THROUGH:** David Hudson, Director, Community Development & Planning *DH*  
**SUBJECT:** Layton Hall Apartments

**ATTACHMENTS:**

1. Relevant Code Sections
2. BAR Staff Memo to City Council (dated 05-01-2013) summarizing BAR review on 04-17-2013 of four (of six total) Special Exception requests.
3. City Council Approvals: Proffers, Resolutions, Ordinance.
4. Applicant Submission, incl. graphics, as revised through 08-30-2013
5. BAR Staff Comment Letter (dated 08-20-2013) and Applicant Response Comment Letter (dated 08-30-2013)

### Nature of Request

1. Case Number: 532-13-3
2. Address: 10320 – 10340 Layton Hall Drive
3. Request: Work Session to discuss applicant's refinement of project design and architecture prior to finalization of design and architecture and BAR review/approval necessary prior to Site Plan approval.
4. Applicant: Seventeenth Carr-Layton Hall Limited Partnership
5. Applicant's Representative: Lynne J. Strobel
6. Status of Representative: Attorney/Agent
7. Zoning: RPD and Old Town Fairfax Transition Overlay District

### Staff Comments

#### **Site Background:**

The subject site consists of one parcel located at the corner of Layton Hall Drive and University Drive. Bordering the subject property on the east is the Fairfax County Health Department. To the north are Van Dyck Park and the City of Fairfax Police Department. To the west, immediately adjacent to the subject site, is City of Fairfax open space; and across University Drive are single family houses. The Olde Fairfax Mews townhome community is located to the southwest across University Drive, and on the south are commercial office sites with associated parking directly adjacent to Layton Hall Drive. The site was zoned Residential Multifamily (RM) and contains 7.81



acres with 110 existing residential rental apartments and associated facilities, originally developed circa 1962.

### **Application Processing**

In 2011 the applicant submitted a request to redevelop the site with 360 apartments and associated facilities. During the processing of this application the BAR reviewed four of the six requested Special Exceptions (SEs) on April 17, 2013 and submitted their comments and recommendations to City Council. A summary of this BAR review is contained in Attachment 2. On May 14, 2013 City Council approved the applicant's application to redevelop the subject property that included the following land use actions:

1. Approval of a Comprehensive Plan amendment to extend the northern boundary of the Old Town Fairfax Transition Overlay District to include the subject site, and approval of a rezoning of the property from Residential Multifamily (RM) to Residential Planned Development District (RPD) and Old Town Fairfax Transition Overlay District (TOD), with proffers;
2. Approval of a Special Use Permit to allow redevelopment, grading, and fill in the floodplain;
3. Approval of six (6) Special Exceptions (SE) to:
  - a. Increase the maximum building height;
  - b. Reduce the minimum required front yard;
  - c. Reduce the minimum required side yard;
  - d. Increase the maximum allowed floor area for buildings and above-grade parking structures;
  - e. Decrease the required parking; and
  - f. Allow encroachment and development in the Resource Protection Area;
4. Approval of Variances (V) of the Residential Planned Development District to:
  - a. Reduce the perimeter open space requirement; and
  - b. Increase the maximum permitted coverage of impervious surface.

Copies of these City Council approvals are contained in Attachment 3. Subsequent to City Council approval of the subject site redevelopment proposal the applicant has submitted a Site Plan for staff review and approval. However, prior to Site Plan approval the applicant must first obtain BAR approval of their site design and of the architecture of the proposed site improvements.

### **Proposal:**

The applicant, with staff's support, has voluntarily chosen to pursue the required BAR approval via a two-step process. This two-step process was chosen due to the complexity of the site's proposed

redevelopment. The first step is to appear before the BAR at a Work Session to obtain BAR input based on a discussion and review of their proposed site layout and building designs.

The applicant will then incorporate the BAR Work Session input into adjustments to and modifications of their proposed site design and the proposed buildings' architecture. The second step would include the applicant returning to the BAR at a later date to secure formal BAR approval of their site design and buildings' architecture.

**Issues:**

Staff has reviewed the applicant's proposal and offered comments back to them in a letter dated August 20, 2013. The applicant in turn has modified their initial BAR submission and revised their proposed site design and building architecture to reflect staff's comments, and has included revised graphics and a comment-response letter dated August 30, 2013. Both staff's and the applicant's letters are contained in Attachment 5.

Issues identified in staff's comment letter dated August 20, 2013 included the following items:

1. Plaza between Buildings 'B' and 'C' – inconsistencies in appearances
2. Building B and C retaining wall/building base – detailing to reduce appearance of monolithic structure
3. Individual apartment balcony configurations - railing spindles and opaque screening
4. Rooftop chimneys and flues – purpose, appearance (color and material choice)
5. Added building façade articulation needed.
6. Balcony inset walls – appearance and choice of materials
7. Retaining walls – ensuring consistency of facing materials' appearance
8. Trellis discrepancies
9. Signage
10. Community Center – stucco preferred over HardiePlank + footprint/elevation discrepancies
11. Gas lights – provide along Layton Hall Drive frontage
12. Add elevation dimensions to ensure compliance with overall height SE.



## **Relevant Regulations**

## **Attachment 1**

### **Sec. 110-1071. Designation of districts.**

(a) The architectural control overlay district is hereby designated as all land in the city which is located outside an historic district and zoned for other than single-family detached residences. In addition, any lot, parcel or area of land within any area zoned for single-family detached residences outside an historic district which is used for other than single-family detached residences or which is the subject of an application for a special use permit or building permit involving any such other use shall be part of the architectural control overlay district. The provisions of this article shall not apply to single-family attached residences after such residences have been initially erected.

### **Sec. 110-1072. Approval required for improvements.**

(a) No structure or improvement located on any land within the architectural control overlay district, including significant landscape features appurtenant to such structure or improvement, shall be erected, reconstructed, altered or restored until the plans for the exterior architectural features and landscaping have been approved by the board of architectural review or the city council in accordance with the provisions of article XIX of this chapter. Plans for signs appurtenant to new and renovated shopping centers, and as otherwise provided for multi-tenant commercial buildings in subsection 110-180(b) shall also be subject to board of architectural review or the city council approval. The board of architectural review shall confine its review and approval to only those features which are subject to view from a public street, way or place. The provisions of this article shall not apply to regular maintenance of a structure, improvement or site; however, an exterior color change of a structure, or substantial portion thereof, shall be deemed an alteration and not regular maintenance.

### **Sec. 110-915. Powers and duties.**

The board of architectural review shall have the following powers and duties:

(2) To review and decide any application requesting approval for exterior architectural features of any structure, improvement or significant landscape feature associated with such structure or improvement to be erected, reconstructed or substantially altered in an architectural control district.



# CITY OF FAIRFAX

Department of Community Development & Planning

## 10320 – 10340 Layton Hall Drive Redevelopment of Layton Hall Apartments

**TO:** Members of City Council  
**THRU:** Jack Blevins, AICP, Community Development Division Chief  
**FROM:** Mike Jaskiewicz, AICP, BAR Liaison  
**SUBJECT:** Summary Review of Comments from Board of Architectural Review (BAR) Meeting on April 17, 2013  
**DATE:** May 1, 2013

On April 17, 2013 the BAR reviewed and made recommendation to the City Council on the applicant's requests for four Special Exceptions (of six total Special Exceptions (SE's)) that specifically request relief from various provisions of the Transition Overlay District (TOD) for the site located at 10320 – 10340 Layton Hall Drive, also known as the Layton Hall Apartments (SE-12110159).

Staff made a presentation to the BAR concerning the applicant's proposal to redevelop the subject property and the land use actions necessary to support the proposed development. Staff discussed the Zoning Ordinance provisions that required the BAR to both review and make recommendations to City Council on four of the six SE requests prior to City Council taking action on them. After the staff presentation, the applicant presentation, questions of the applicant and staff, and after receiving public testimony, the BAR discussed the four SE requests and voted on its recommendations to City Council.

**The BAR, in extending its overall support for the applicant's redevelopment proposal, recommends that City Council approve the applicant's four specific SE requests to provisions of the TOD standards.** The BAR entertained and voted on each of the four separate SE requests, and followed each vote with an opportunity for individual BAR members to add commentary to help clarify their opinions on each of the requests.

**Maximum Building Height. Sec. 110-1046(2) – To allow a proposed maximum building height of 69.4 feet (6 stories) where a maximum building height of 43 feet above the finished grade is allowed.**

*The BAR voted 4 – 1 (Anderson dissenting) to extend its recommendation that City Council approve this SE request.*

The BAR discussed the requirement for a 43-foot height limit in the TOD, given the BAR's review of many other applications that seek relief from this provision. BAR comments on this request at this site spoke to the members' concern as to the substantial amount of the applicant's request (for 26.4 feet, or a 62 percent increase) over the maximum building height allowed (43 feet). Board Member Anderson added that he objected to the proposed design with buildings that would essentially be multicolored cubes and monolithic structures and that he prefers a design and corresponding FAR without a mass of big box-like structures.

**Minimum Yard Requirements – Corner Lot. Sec. 110-1046(3)(a)(2) – To reduce the minimum required front yard to zero feet for the purposes of allowing encroachment into the front yard to accommodate certain pedestrian and site amenities, and to increase the sidewalk located in the right-of-way from four feet to six feet, rather than 10 feet.**

*The BAR voted unanimously and without comment to recommend that City Council approve this SE request.*



**Minimum Yard Requirements – Side. Sec. 110-1046(3)(b)(2)** - To reduce the required 25-foot side yard and required screening to 10 feet when such yard lies contiguous to both the TOD boundary and to residentially-zoned property.

*The BAR voted unanimously and without comment to recommend that City Council approve this SE request.*

**FAR – Sec. 110-1046(5)(b)** To allow an increase in the site's maximum allowable floor area ratio (FAR) to 1.22 from the maximum allowable floor area ratio of 1.20.

*The BAR voted unanimously and without comment to recommend that City Council approve this SE request.*



## City of Fairfax

10455 Armstrong Street  
Fairfax, Virginia 22030-3630

May 28, 2013

Ms. Lynne Strobel  
Walsh, Colucci, Lubeley, Emrich & Walsh, P.C.  
2200 Clarendon Boulevard, Suite 1300  
Arlington, Virginia 22201

Re: Rezoning Request Z-12110097  
Special Exception Request SE-12110158  
Special Use Permit Request SU-12110159  
Variance Request V-12110098

Dear Ms. Strobel:

The Fairfax City Council, at its regular meeting of May 14, 2013, adopted a resolution to approve the application of Seventeenth Carr – Layton Hall Limited Partnership, by Lynne J. Strobel, Agent, for a Comprehensive Plan Amendment to extend the northern boundary of the Old Town Fairfax Transition Overlay District and an ordinance for a rezoning of the 7.81-acre subject site from RM Multifamily to RPD(p), Residential Planned Development (with proffers dated May 14, 2013) in support of multifamily attached development and to the Old Town Fairfax Transition Overlay District, and variances to reduce the minimum open space setback of at least 25 feet around the external walls of any structure required by Sec. 110-673(2), and to permit the coverage by all impervious surfaces to exceed the maximum permitted lot coverage 50-percent of the gross tract area required by Sec. 110-673(4) subject to the general development plan/preliminary site plan revised through April 25, 2013 and proffers dated May 14, 2013, on the premises known as 10320 – 10340 Layton Hall Drive, and more particularly described as tax map number 57-2-002-174.

The City Council also adopted a resolution to approve the request of Seventeenth Carr – Layton Hall Limited Partnership, by Lynne J. Strobel, Agent, for the following special exceptions:

1. Increase the maximum wall height of 43 feet to a maximum wall height of up to 70 feet;
2. Reduce the minimum required front yard to as little as zero feet;
3. Reduce the minimum required side yard to as little as ten feet;
4. Increase the maximum allowed floor area for buildings and above-grade parking structures to 122 – percent;





5. Reduce the required parking from 2.0 spaces per unit to 1.6 spaces per unit; and  
6. Allow encroachment and development in the resource protection area.  
on the land known as 10320 – 10340 Layton Hall Drive, and more particularly described  
as tax map number 57-2-002-174 and subject to the following conditions:

1. The primary wall materials for all buildings shall be brick, stone, or simulated stone. Architectural elements such as varied wall setbacks and brick banding, soldier coursing, and relief patterns shall be incorporated into the overall design to be presented for review by the Board of Architectural Review.
2. The applicant shall install bicycle lanes or sharrows on both directions of Layton Hall Drive from the intersection of University Drive to the intersection of Old Lee Highway pursuant to final design approval by the Director of Public Works.

The Fairfax City Council also approved the request of Seventeenth Carr – Layton Hall Limited Partnership, by Lynne J. Strobel, Agent, for a special use permit to allow redevelopment and grading in the floodplain on the land known as 10320 – 10340 Layton Hall Drive and more particularly described as tax map 57-2-002-174 subject to the following conditions:

1. The primary wall materials for all buildings shall be brick, stone, or simulated stone. Architectural elements such as varied wall setbacks and brick banding, soldier coursing, and relief patterns shall be incorporated into the overall design to be presented for review by the Board of Architectural Review.
2. The applicant shall install bicycle lanes or sharrows on both directions of Layton Hall Drive from the intersection of University Drive to the intersection of Old Lee Highway pursuant to final design approval by the Director of Public Works.

Sincerely,



Melanie R. Burrell  
City Clerk

cc: David Hudson, Director, Community Development & Planning  
Jack Blevins, Community Development Division Chief  
MRB/dms

MAY 20 2013

## PROFFERS

Dept. of Community  
Development & Planning

## SEVENTEENTH CARR – LAYTON HALL LIMITED PARTNERSHIP

## ZONING MAP AMENDMENT

May 14, 2013

Pursuant to Section 15.2-2303(a) of the *Code of Virginia*, 1950, as amended, and Section 110-7 (b) of the Zoning Ordinance of the City of Fairfax, Virginia, Seventeenth Carr-Layton Hall Limited Partnership, for itself, and its successors and/or assigns (hereinafter referred to as the "Applicant") in Z-12110097 filed on property identified on the City of Fairfax tax map 57-2 ((2)) 174 (hereinafter referred to as the "Application Property") hereby proffers the following, provided that the Fairfax City Council approves a rezoning of the Application Property from the RM District to the RPD and the Old Town Fairfax Transitional Overlay District in conjunction with a general development plan/preliminary site plan for residential development. These proffers shall replace and supersede all previous proffers approved on the Application Property. In the event the rezoning is denied by the Council, these proffers shall immediately be null and void.

## 1. GENERAL DEVELOPMENT PLAN/PRELIMINARY SITE PLAN

Development of the Application Property shall be in substantial conformance with the General Development Plan/Preliminary Site Plan (GDP/PSP) prepared by Dewberry Consultants LLC consisting of nine (9) sheets, dated November 9, 2012, with a cover sheet revised through April 25, 2013.

## 2. TRANSPORTATION

- A. The Applicant shall install three (3) curb bump outs on Layton Hall Drive as shown on the GDP/PSP.
- B. Two (2) pedestrian crosswalks shall be installed by the Applicant across Layton Hall Drive as shown on the GDP/PSP. The crosswalks shall be installed using stamped concrete or painted asphalt as coordinated with the Department of Community Development and Planning.
- C. The Applicant shall stripe a bicycle lane or bicycle sharrow indications along the north and south sides of Layton Hall Drive from University Drive to Old Lee Highway as coordinated with the Department of Public Works to facilitate connections to the Old Town Fairfax area. Said bicycle lanes or bicycle sharrow indications shall be located within existing right-of-way. If said improvements cannot be located within existing right-of-way, the Applicant shall install the improvements on the north side only.

9.



- D. At issuance of the final occupancy permit for the Application Property, and subject to the approval of the Department of Public Works, the Applicant shall evaluate and modify, if necessary, the signal timing at the intersection of Layton Hall Drive and Old Lee Highway with the objective of lessening the queuing on eastbound Layton Hall Drive during the weekday a.m. peak traffic period.

3. STREETSCAPE

- A. The Applicant shall install a streetscape generally consisting of landscaping and a six (6) foot wide brick sidewalk along the Application Property's Layton Hall Drive frontage as shown on the GDP/PSP. The brick sidewalk shall extend to the existing painted crosswalk on University Drive that will remain.
- B. Subject to the granting of the Applicant's request for service by the public gas utility provider, the Applicant shall install gas lights compatible with those in the Old Town District along the Application Property's Layton Hall Drive frontage. The style of the gas lights shall be generally in conformance with that shown on the GDP/PSP. The spacing of the gas lights shall be coordinated with the Department of Community Development and Planning. Should the public gas utility provider not grant the Applicant's request for service, the Applicant shall install the lights with electric fixtures that have a similar appearance to a gas light.
- C. Utilities located along the Application Property's Layton Hall Drive frontage and on the Application Property shall be located underground.

4. LANDSCAPING AND OPEN SPACE

- A. Landscaping on the Application Property shall be in conformance with the landscape design shown on the GDP/PSP. Adjustments to the type and location of vegetation and the design of landscaped areas and streetscape improvements/plantings shall be permitted in consultation with the Department of Community Development and Planning. Supplemental planting of native species within the RPA shall be provided in coordination with the Department of Community Development and Planning at time of site plan.
- B. The retaining wall located at the rear of Buildings B and C as identified on the GDP/PSP shall be constructed of rubble stacked stone and shall have a maximum height of ten (10) feet. Additional retaining walls shall be constructed of rubble stacked stone and shall have a maximum height of fourteen (14) feet. A metal embossed black railing shall be installed on top of all walls that exceed a height of three and one-half (3.5) feet.

5. STORMWATER MANAGEMENT/BEST MANAGEMENT PRACTICES

- A. The Applicant shall implement an enhanced Stormwater Management (SWM) and Best Management Practices (BMP) plan to control the quantity and quality of stormwater runoff from the Application Property. Stormwater management facilities shall consist of several underground storage facilities with appropriate

BMP/LID measures. The Applicant reserves the right to pursue additional stormwater management measures provided the same are in substantial conformance with the GDP/PSP.

- B. At time of site plan approval, the Applicant reserves the right to install pervious pavers for parking that is located within the designated Resource Protection Area (RPA).

6. RECREATIONAL AMENITIES

- A. The Applicant shall provide on-site recreational facilities to serve the residences of the Application Property, including a swimming pool and community building as shown on the GDP/PSP. Within the community building shown on the GDP/PSP, amenities shall include, but not be limited to, an exercise room with equipment, media center, multi-purpose room, dressing rooms and a cyber café. A leasing office shall also be located in the community building.
- B. At time of site plan approval, the Applicant shall contribute the sum of thirty-five thousand dollars (\$35,000.00) to the City of Fairfax for use in the planning, design and/or construction of recreational amenities at Van Dyke Park, which may include the establishment of a community garden.

7. PEDESTRIAN CONNECTIONS

- A. The Applicant shall install a trail connection on the Application Property in proximity to proposed Building C to an existing trail located parallel to University Drive that connects to the existing trail network at Van Dyke Park as shown on GDP/PSP.
- B. The Applicant shall install internal sidewalks on the Application Property as shown on the GDP/PSP. The concrete sidewalks shall be five (5) feet in width with brick banding.
- C. Subject to receipt of any necessary letters of permission at no cost, the Applicant shall resurface and widen the existing bicycle path/trail parallel to University Drive on the Application Property side of the existing floodplain from six (6) feet to eight (8) feet.
- D. The Applicant, in coordination with the Parks Director of the City of Fairfax and subject to receipt of any necessary letters of permission at no cost, shall construct a trail on the northeastern portion of the Application Property that provides a direct connection to Van Dyke Park. Should a connection location not be identified at time of site plan, the Applicant shall escrow the sum of twenty-five thousand dollars (\$25,000.00) for the construction of a future trail connection by others.

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8. ARCHITECTURAL DESIGN

- A. The architectural design of the buildings shall be consistent with the conceptual elevations as shown on the GDP/PSP, and shall be generally consistent in style on all sides of the buildings. Juliette and/or full-size balconies shall not extend more than four (4) feet from the building. The elevations may be refined as a result of final design and engineering so long as the character and quality of the buildings remain in substantial conformance with those shown on the GDP/PSP. Building materials shall be predominately brick with pre-cast concrete or pre-finished painted brick at entries. Architectural elements, such as varied wall setbacks, brick banding, soldier coursing and/or relief patterns, shall be incorporated into the overall design to be presented for review by the Board of Architectural Review.
- B. Mechanical equipment shall not be located on the roofs of the buildings. Any mechanical equipment located on the ground shall be screened by fencing, landscaping or a combination thereof.
- C. At time of site plan and building plan approval, the Applicant shall demonstrate compliance of the residential buildings with the universal design criteria as set forth in the ICC/ANSI A117.1 (American National Standard Accessible and Usable Buildings and Facilities as referenced in the current edition of the Virginia Statewide Building Code) and the 1988 Fair Housing Design Manual.
- D. The proposed development shall consist of studios, one-bedroom and two-bedroom units, with a majority of the units comprised of studios and one-bed rooms. The layout of the units shall be as generally shown on the GDP/PSP as may be modified with final design and market demand.
- E. The Applicant shall install sprinkler systems in each proposed building.

9. SUSTAINABLE DESIGN

- A. In order to promote energy conservation and green building techniques, the Applicant shall incorporate energy saving devices which may include, but not be limited to, use of ENERGY STAR<sup>®</sup> appliances, energy efficient mechanical systems, recycling for occupant refuse, energy efficient lighting and insulation that meets or exceeds applicable energy code requirements.
- B. At time of site plan submission, the Applicant shall submit a LEED checklist to demonstrate the incorporation of energy saving components as described above and as generally available in the marketplace.
- C. All buildings shall be designed in accordance with the 2009 International Energy Conservation Code (IECC).

10. PARKING MANAGEMENT

- A. The Applicant shall assign parking management as one of the duties of its property manager. Parking management shall entail the efficient use of available constructed parking spaces, including the assignment of parking spaces to residents within the parking garage, and designation of guest parking as identified by signage. No fewer than two (2) conveniently located parking spaces will be reserved for vanpools and/or car sharing services.
- B. The Applicant shall assign one (1) parking space per unit that will be included in the monthly rent for each unit. The Applicant reserves the right to charge a fee or premium for preferred and/or additional parking spaces. A minimum of seven (7) guest parking spaces shall be provided adjacent to the community building. Additional guest parking shall be clearly designated on the Application Property and distributed throughout the site.

11. TRANSPORTATION DEMAND MANAGEMENT STRATEGIES

In an effort to reduce the numbers of vehicle trips generated by the Application Property, the Applicant shall implement Transportation Demand Management ("TDM") strategies. These strategies will include, but not be limited to, the following:

- A. Designation of a Transportation Management Coordinator ("TMC") which may be one of the duties assigned to its property manager. The TMC will provide on-site assistance to residents and employees in forming and maintaining carpools and vanpools. The TMC will display in the Application Property's leasing office information on local transit services, carpool programs, and ridesharing programs. The TMC will ensure that the displayed information is current.
- B. Availability of covered bicycle storage facilities for residents in garages. A bicycle rack will also be provided on the Application Property for site visitors and/or employees.
- C. At the time of initial lease, the Applicant shall provide prepaid SmarTrip cards with a value of twenty-five (\$25.00) to new residents.
- D. Designation of a centralized office space in the community building on the Application Property that may be used by residents for telework activities. The space will include access to a computer, printer, and facsimile machine.
- E. Installation of at least one interior or exterior electric vehicle charging station on the Application Property.

12. SIGNS

In coordination with Department of Community Development and Planning, the Applicant shall install, or allow the City of Fairfax to fabricate and install, way-finding signs, district entry signs and/or trail signs consistent with those located in the Old Town



Fairfax Area at a cost not to exceed ten thousand dollars (\$10,000.00). Any funds not expended on said signs shall be allocated to improvements to Van Dyke Park.

13. TENANT RELOCATION

The Applicant shall provide for tenant relocation in accordance with the plan attached hereto as Exhibit A.

14. AFFORDABLE HOUSING

In order to address the need for affordable housing in the City of Fairfax, the Applicant shall lease eighteen (18) of the units constructed on the Application Property as affordable units in accordance with the following conditions:

- A. Nine (9) units shall be affordable to households with an income of up to eighty (80) percent of the median income (AMI) for the Washington Standard Metropolitan Statistical Area as specified annually by HUD. Income eligibility limits shall be adjusted based on household size as follows: 70% for a one person household, 80% for a two person household, 90% for a three person household and a 100% for a four person household.
- B. Nine (9) units shall be affordable to households with an income of up to seventy (70) percent of the median income (AMI) for the Washington Standard Metropolitan Statistical Area as specified annually by HUD. Income eligibility limits shall be adjusted based on household size as follows: 70% for a one person household, 80% for a two person household, 90% for a three person household and a 100% for a four person household.
- C. The units shall be integrated into and dispersed throughout the development to the extent feasible.
- D. The number of bedrooms per unit shall be proportional to the number of bedrooms per unit in the market units.
- E. The tenants who lease the units shall meet the income eligibility criteria identified herein as documented annually to the Applicant and remain in good standing for the term of the lease. Said documentation shall be made available to the Department of Community Development and Planning on an annual basis upon request.
- F. Should a tenant leasing a unit no longer qualify under the income eligibility criteria identified herein, the Applicant, within its sole discretion, shall either allow the tenant to continue occupancy at market rates and designate another unit within the development as affordable, when available, or relocate the tenant to a market rate unit and continue to lease the previously designated affordable unit in accordance with the income eligibility criteria.

- G. Marketing of the units shall include coordination with non-profit organizations including those that serve military personnel who have been wounded during service.
- H. The affordability restriction described herein shall remain in place for twenty (20) years after the issuance of the first occupancy permit for an affordable unit on the Application Property at which time this proffer shall be null and void and of no further force and effect.

15. MISCELLANEOUS

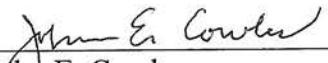
- A. Occupancy Restrictions. To the extent permitted by State and Federal Fair Housing regulations, the occupancy of each dwelling unit in the development shall be limited to no more than two (2) persons per bedroom.
- B. Construction. The improvements described herein shall be constructed concurrently with the development unless otherwise specified. Should any of the improvements described herein be delayed due to circumstances beyond the Applicant's control, later dates for compliance may be permitted as determined appropriate by the Zoning Administrator.
- C. Security. The Applicant shall include security features as a part of final architectural design. Any security cameras installed on the Application Property shall include a thirty (30) day retention of information.
- D. Demolition. The demolition of existing buildings shall be performed in accordance with all State and local regulations for the removal of asbestos.
- E. Successors and Assigns. These proffers will bind and inure to the benefit of the Applicant and its successors and assigns.



APPLICANT/OWNER OF TAX MAP 57-4 ((2)) 174

SEVENTEENTH CARR - LAYTON HALL  
LIMITED PARTNERSHIP

By: GP-LAYTON HALL, L.L.C., a  
Virginia limited liability, General Partner

  
By: John E. Cowles  
Its: Manager

[SIGNATURES END]

16.

RESOLUTION NO. R-13-09

RESOLUTION TO APPROVE THE REQUEST OF SEVENTEENTH CARR - LAYTON HALL LIMITED PARTNERSHIP, BY LYNNE J. STROBEL, ATTORNEY/AGENT, FOR SPECIAL EXCEPTIONS TO SECTION 110-1046(2) TO INCREASE THE MAXIMUM BUILDING HEIGHT TO MORE THAN 43 FEET, TO SECTION 110-1046(3)A.2. TO REDUCE THE MINIMUM REQUIRED FRONT YARD, TO SECTION 110-1046(3)B.2. TO REDUCE THE MINIMUM REQUIRED SIDE YARD TO LESS THAN 25 FEET WIDE WHERE CONTIGUOUS TO RESIDENTIALLY ZONED PROPERTY OUTSIDE THE OLD TOWN FAIRFAX TRANSITION OVERLAY DISTRICT, SECTION 110-1046(5)B TO INCREASE THE MAXIMUM ALLOWED FLOOR AREA FOR BUILDINGS AND ABOVE-GRADE PARKING STRUCTURES TO 122-PERCENT FROM 120-PERCENT, TO SECTION 110-154(B)(1)(A) TO REDUCE THE OFF-STREET PARKING SPACES FROM 2.0 TO 1.6 SPACES PER UNIT, AND PURSUANT TO SECTION 110-89(B) TO ALLOW ENCROACHMENT AND REDEVELOPMENT IN THE RESOURCE PROTECTION AREA ON THE PROPERTY KNOWN AS TAX MAP PARCEL 57-2-002-174 AND ALSO KNOWN AS 10320 - 10340 LAYTON HALL DRIVE.

WHEREAS, Seventeenth Carr - Layton Hall Limited Partnership, by Lynne J. Strobel, attorney/agent, has submitted Application No. SE-12110158 requesting Special Exceptions to the City Code as listed above; and

WHEREAS, City Council has carefully considered the application, the recommendation from Staff, the recommendation from the Board of Architectural Review and testimony received at the public hearing; and

WHEREAS, City Council has determined that the proposed Special Exceptions are appropriate because the proposal meets the requisites established by City of Fairfax Code Sections 110-89(s), 110-1046(6), 110-1047, and 110-158 for the following reasons:

- 1) The requests have been designed in a manner which will complement the unique character of the Old Town Fairfax Historic District with respect to building size, scale, placement, design and use of materials;
- 2) The proposed structure and improvements will promote the general welfare and protect the public health, safety and morals by tending to maintain and augment the city tax base as a whole, generating business activity, maintaining and creating employment opportunity, and making the city a more attractive and desirable place in which to live.
- 3) The proposed combination of architectural elements conform to accepted architectural principles, as contrasted with engineering standards designed to satisfy safety or functional requirements only, and exhibit external characteristics of demonstrated architectural and aesthetic durability.
- 4) The orientation and location of the proposed structures and improvements, and their relationship to open spaces and topography, will be harmonious with the surrounding buildings and area.
- 5) The design of the proposed structures and site would provide for the safe and efficient movement of pedestrian and vehicular traffic.
- 6) The requests will not result in increased traffic congestion or otherwise negatively impact existing traffic flow or pedestrian and vehicular safety.
- 7) The requests will not be contrary to the objectives specified in the comprehensive plan.
- 8) The relief is necessary to permit reasonable use of the subject property.
- 9) The requests will not adversely impact adjacent property or the surrounding area.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Fairfax on this 14<sup>th</sup> day of May, 2013, that Application No. SE-12110158 be and hereby is APPROVED, as requested, with the proffered conditions revised through May 6, 2013 and with the following conditions.

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1. The primary wall materials for all buildings shall be brick, stone, or simulated stone. Architectural elements such as varied wall setbacks and brick banding, soldier coursing, and relief patterns shall be incorporated into the overall design to be presented for review by the Board of Architectural Review.
2. The applicant shall install bicycle lanes or sharrows on both directions of Layton Hall Drive from the intersection of University Drive to the intersection of Old Lee Highway pursuant to final design approval by the Director of Public Works.

Adopted this 14<sup>th</sup> day of May 2013.

  
Mayor

ATTEST:

  
City Clerk

The vote on the motion to approve was recorded as follows:

**VOTE:**

Councilman DeMarco	Aye
Councilman Drummond	Aye
Councilman Greenfield	Aye
Councilman Meyer	Aye
Councilmember Schmidt	Aye
Councilman Stombres	Aye

RESOLUTION NO. R-13-10

A RESOLUTION APPROVING AND ADOPTING AMENDMENTS TO THE CITY  
OF FAIRFAX COMPREHENSIVE PLAN

WHEREAS, § 15.2-2223 of the Code of Virginia requires the City Council to adopt a comprehensive plan for the physical development of the territory within the jurisdiction of the City of Fairfax; and

WHEREAS, the City Council adopted the existing *City of Fairfax Comprehensive Plan* on April 10, 2012; and

WHEREAS, in accordance with § 15.2-2229 of the Code of Virginia, the City Council may consider amendments to the comprehensive plan; and

WHEREAS, the City Council received a request to consider extending the northern boundary of the Old Town Fairfax Transition Overlay District; and

WHEREAS, the City Council has considered these amendments in accordance with the comprehensive plan's purpose of guiding and accomplishing a coordinated, adjusted and harmonious development of the City of Fairfax; and

WHEREAS, the comprehensive plan recommends the extension of the Old Town Fairfax Transition Overlay District in order to facilitate redevelopment of the area and to increase design control along the entrances to Old Town Fairfax; and

WHEREAS, the Planning Commission held a public hearing, and on April 22, 2013, approved the amendments to the comprehensive plan and recommended the approval and adoption to City Council; and

WHEREAS, in accordance with § 15.2-2226 of the Code of Virginia, the City Council held a public hearing on May 14, 2013 for the purpose of receiving public comment relative to the amendments to the comprehensive plan;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Fairfax hereby approves and adopts the amendments to the *City of Fairfax Comprehensive Plan* map LU-3.

Adopted this 14<sup>th</sup> day of May 2013.

  
Mayor

ATTEST:

  
City Clerk

The vote on the motion to approve was recorded as follows:

VOTE:

Councilman DeMarco	Aye
Councilman Drummond	Aye
Councilman Greenfield	Aye
Councilman Meyer	Aye
Councilmember Schmidt	Aye
Councilman Stombres	Aye



ORDINANCE NO. 2013-12

**AN ORDINANCE TO AMEND THE ZONING MAP OF THE CITY OF FAIRFAX, VIRGINIA TO RECLASSIFY FROM RM MULTIFAMILY TO RDP(p), RESIDENTIAL PLANNED DEVELOPMENT (WITH PROFFERS) AND OLD TOWN FAIRFAX TRANSITION OVERLAY DISTRICT THE PROPERTY IDENTIFIED AS 10320 -10340 LAYTON HALL DRIVE AND MORE PARTICULARLY DESCRIBED AS TAX MAP PARCEL 57-2-002-174.**

**WHEREAS**, Seventeenth Carr – Layton Hall Limited Partnership, by Lynne J. Strobel, Agent/ Attorney-in-Fact, submitted application No. Z-12110097 requesting a change in the zoning classification from RM Multifamily to RPD(p), Residential Planned Development (with proffers) and Old Town Fairfax Transition Overlay District (with proffers), for the parcel identified above, and more specifically described as follows:

Beginning at a point marking the intersection of the northerly line of Layton Hall Drive (80 foot R/W), with the easterly line of University Drive (variable R/W) and running thence with the easterly line of University Drive the following courses: N08°47'46"W, 84.22 feet; N55°49'43"E, 414.35 feet and N44°42'29"E, 528.30 feet to a point on the westerly line of the property of the City of Fairfax, Virginia; thence running with the westerly and southerly lines of the said City of Fairfax S06°05'40"E, 504.20 feet and S74°20'40"E, 206.86 feet to a point marking the northwesterly corner of the Board of Supervisors of Fairfax County, Virginia; thence running with the westerly line of the said Board of Supervisors S27°02'20"W, 299.84 feet to a point on the aforementioned northerly line of Layton Hall Drive; thence running with the northerly line of Layton Hall Drive N74°20'41"W, 395.00 feet and with a curve to the left whose radius is 1,035.24 feet (and whose chord is N86°34'13"W, 438.45 feet), an arc distance of 441.79 feet to the point of beginning, containing 7.80521 acres of land; and

**WHEREAS**, the City Council has carefully considered the application, the proposed proffers, the recommendation of the Planning Commission, the recommendation of staff, and the testimony received at public hearing; and

**WHEREAS**, the City Council has determined that the proposed rezoning is proper and in accordance with the Comprehensive Plan as well as with the pertinent provisions set forth in the Code of Virginia and the Code of the City of Fairfax, Virginia;

**NOW, THEREFORE BE IT ORDAINED**, that the above described property be rezoned from RM Multifamily to RPD(p), Residential Planned Development (with proffers) and Old Town Fairfax Transition Overlay District;

**BE IT FURTHER ORDAINED**, that the above described property be subject to the following reasonable conditions authorized by City Code Section 110-7, which are proffered by the property owners (see attached).

**BE IT FURTHER ORDAINED**, that the above conditions, application package and general development plan/preliminary site plan be approved, and that the following variances be granted:

- from City Code § 110-673(2) to reduce the required perimeter open space setback from 25 feet to as little as zero feet to accommodate certain pedestrian and site amenities; and
- from City Code § 110-673(4) to increase the maximum permitted coverage to 52-percent from a maximum of 50-percent.

The Zoning Administrator of the City is hereby directed to modify the Zoning Map to show the changes in the zoning of these premises, including the existence of the proffered conditions, and the Clerk of the Council is directed to transmit duly certified copies of this ordinance to the applicant, Zoning Administrator, and to the Planning Commission of this City as soon as possible.

This ordinance shall be effective as provided by law.

Planning Commission hearing: April 22, 2013

City Council hearing: May 14, 2013

Adopted: May 14, 2013

  
\_\_\_\_\_  
Mayor

5/29/13  
\_\_\_\_\_  
Date

ATTEST:

  
\_\_\_\_\_  
City Clerk

Votes

Councilman DeMarco	Aye
Councilman Drummond	Aye
Councilman Greenfield	Aye
Councilman Meyer	Aye
Councilmember Schmidt	Aye
Councilman Stombres	Aye



BAR No: 532-13-3Pentamation No: 13080056

**CITY OF FAIRFAX  
BOARD OF ARCHITECTURAL REVIEW  
APPLICATION FOR CERTIFICATE OF APPROVAL**

Applicant: Seventeenth Carr-Layton Hall Limited Partnership Phone: 703-658-6073

Applicant's Address: c/o John E. Cowles, 10675 Main Street, Fairfax, Virginia 22030

Applicant's Representative: Lynne J. Strobel, attorney/agent Phone: 703-528-4700

Representative's Address: Walsh, Colucci, Lubeley, Emrich & Walsh, P.C.  
2200 Clarendon Boulevard, Suite 1300, Arlington, Virginia 22201

Property Owner: Seventeenth Carr-Layton Hall Limited Partnership

Owner's Address: 10675 Main Street, Fairfax, Virginia 22030

I hereby certify that the representative named above has the authority vested by me to commit to design changes, and otherwise represent me as property owner to the Board of Architectural Review. The information provided on this application is accurate to the best of my knowledge. I understand that I must comply with all conditions of the Certificate of Approval as well as all other zoning requirements.

Lynne J. Strobel  
Property Owner's Signature  
Lynne J. Strobel, Attorney/Agent for  
Seventeenth Carr-Layton Hall Limited Partnership

August 7, 2013

Date

Project Name: Layton Hall Apartments

Project Location: 57-2 ((2)) 174

Project Description: Located in the northeast quadrant of Layton Hall Drive and University Drive on approximately 7.81 acres zoned to the RPD and Old Town Fairfax Transitional Overlay District. To be developed with 360 multifamily dwelling units in seven (7) buildings.

Lot Area: Approx. 7.81 acres Structure Sq. Ft. (existing) Approx. 134,000 sq. ft. (proposed) Approx. 385,000 sq. ft.

-----Office Use Only-----

Tax Map Number: 572-02-174 Fee Paid: 125<sup>00</sup> Receipt Number: 35721

Rev. 03/09

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## AFFIDAVIT

Lynne J. Strobel,  
I, attorney/agent, do hereby make oath or affirmation that I am an applicant in  
Application Number 532-13-3 and that to the best of my knowledge and belief, the  
following information is true: 1308 0056

1. (a) That the following is a list of names and addresses of all applicants, title owners,  
contract purchasers, and lessees of the property described in the application, and if any of the  
foregoing is a trustee, each beneficiary having an interest in such land, and all attorneys, real  
estate brokers, architects, engineers, planners, surveyors, and all other agents who have acted on  
behalf of any of the foregoing with respect to the application:

Name	Address	Relationship
<u>See Attachment A</u>		

(b) That the following is a list of the stockholders of all corporations of the foregoing  
who own ten (10) percent or more of any class of stock issued by said corporation, and where  
such corporation has ten (10) or less stockholders, a listing of all the stockholders:

Name	Address	Relationship
<u>See Attachment B</u>		

(c) That the following is a list of all partners, both general and limited, in any  
partnership of the foregoing:

Name	Address	Relationship
<u>See Attachment C</u>		

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Dept. of Community  
Development & Planning

City of Fairfax  
Department of Community Development and Planning  
10455 Armstrong Street, Annex Room 207  
Fairfax, VA 22030

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23.



2. That no member of the City Council, Planning Commission, BZA, or BAR has any interest in the outcome of the decision. EXCEPT AS FOLLOWS: (If none, so state.)

None

3. That within five (5) years prior to the filing of this application, no member of the City Council, Planning Commission, BZA, or BAR or any member of his or her immediate household and family, either directly or by way of a corporation or a partnership in which anyone of them is an officer, director, employee, agent, attorney, or investor has received any gift or political contribution in excess of \$100 from any person or entity listed in paragraph one.

EXCEPT AS FOLLOWS: (If none, so state.)

None

4. That I understand that I or a designated representative must be present at the meeting or this application will be deferred by the Board of Architectural Review.

WITNESS the following signature:

By: Lynne J. Strobel, attorney/agent  
for Seventeenth Carr-Layton Hall  
Limited Partnership

Lynne J. Strobel  
Applicant

ALL APPLICANTS MUST SIGN AND HAVE THEIR SIGNATURES NOTARIZED.

The above affidavit was subscribed and confirmed by oath or affirmation before me on this  
7 day of August, 2013, in the State of Virginia; County of Arlington  
My commission expires 11/30/2015.

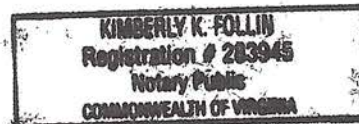
Kimberly K. Follin  
Notary Public/Registration No.

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Development & Planning

City of Fairfax  
Department of Community Development and Planning  
10455 Armstrong Street, Annex Room 207  
Fairfax, VA 22030



## ATTACHMENT A

Seventeenth Carr-Layton Hall Limited  
Partnership  
c/o 10675 Main Street  
Fairfax, Virginia 22030  
Agent: John E. Cowles

Applicant/Title Owner of  
Tax Map 57-2 ((2)) 174

Dewberry Consultants LLC f/k/a  
Dewberry & Davis LLC  
8401 Arlington Boulevard  
Fairfax, Virginia 22031  
Agents: Dennis M. Couture  
Carl M. Rigler

Engineer/Planner/Agent for Applicant

Devereaux & Associates, P.C.  
1481 Chain Bridge Road, Suite 302  
McLean, Virginia 22101  
Agents: William J. Devereaux, Jr.  
Sandra M. Fennell  
Angela L. Kostelecky

Architect/Agent for Applicant

Walsh, Colucci, Lubeley, Emrich &  
Walsh, P.C.  
2200 Clarendon Boulevard, 13th Floor  
Arlington, Virginia 22201  
Agents: Martin D. Walsh  
M. Catharine Puskar  
G. Evan Pritchard  
Elizabeth D. Baker

Attorneys/Planners/Agent for Applicant

Lynne J. Strobel  
Sara V. Mariska  
Jonathan D. Puvak  
Inda E. Stagg

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**Dept. of Community  
Development & Planning**

25.

## **ATTACHMENT B**

### **Dewberry Consultants LLC f/k/a Dewberry & Davis LLC**

Members: The Dewberry Companies LC, James L. Beight, Dennis M. Couture

The Dewberry Companies LC

Members: Barry K. Dewberry; Karen S. Grand Pre; Thomas L. Dewberry; Michael S. Dewberry Credit Shelter Trust u/a/d 11/23/05 (f/b/o Michael S. Dewberry II, Katie Anne Dewberry and two minor children of Michael S. Dewberry)

### **Devereaux & Associates, P.C.**

Shareholder: William J. Devereaux, Jr.

### **Walsh, Colucci, Lubeley, Emrich & Walsh, P.C.**

Shareholders:

David J. Bomgardner, E. Andrew Burcher, Thomas J. Colucci, Michael J. Coughlin, Peter M. Dolan, Jr., Jay du Von, William A. Fogarty, John H. Foote, H. Mark Goetzman, Bryan H. Guidash, Michael D. Lubeley, J. Randall Minchew, M. Catharine Puskar, John E. Rinaldi, Kathleen H. Smith, Lynne J. Strobel, Garth M. Wainman, Nan E. Walsh, Martin D. Walsh

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Development & Planning**



**ATTACHMENT C**

**Seventeenth Carr-Layton Hall Limited Partnership**

General Partner: GP-Layton Hall, L.L.C.

Limited Partners: LP-Layton Hall, L.L.C., Jack T. Dorsey, Frederick D. Mears, Nathan T. Cowles, Taylor S. Cowles

GP-Layton Hall, L.L.C.

Manager: John E. Cowles

LP-Layton Hall, L.L.C.

Manager: John E. Cowles

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**Dept. of Community  
Development & Planning**

## COMPREHENSIVE STATEMENT OF DESIGN INTENT

The architecture under consideration is specific to Layton Hall, which is a residential community located in the northeast quadrant of Layton Hall Drive and University Drive. Layton Hall is zoned to the Residential Planned Development (RPD) and Old Town Fairfax Transitional Overlay Districts in conjunction with a rezoning that was granted by the City Council at its regular meeting held on May 14, 2013. The approval was granted subject to proffers dated May 14, 2013. The approval allows for the replacement of five (5) existing "walk-up" apartment buildings with seven (7) multifamily residential buildings served by elevators. The residential buildings will include a total of 360 dwellings comprised of studios, one bedroom and two bedroom units. Parking is provided at grade and in garages located beneath the buildings.

The seven (7) buildings that will comprise the Layton Hall community are labeled A through G on the approved development plan and the site plan submitted to Fairfax City. Building heights and locations have been thoughtfully designed to create an urban edge while appropriately transitioning to surrounding uses. Building D, which is centrally located within the community, will be five (5) stories. Buildings A, B, C and E, located on the periphery of the property, will be four (4) stories. Buildings F and G step back in height from Layton Hall Drive. The fifth floor of Buildings F and G is recessed approximately 33 feet from the front façade so that the building frontage proximate to Layton Hall Drive is four (4) stories. This design limits building height to four (4) stories along the Layton Hall Drive frontage that increases to five (5) stories interior to the site. The buildings will be constructed in a traditional architectural style that is consistent with the revitalized urban core of the City of Fairfax. The building façades are articulated to provide visual interest and to vary the massing of the buildings. Entry doors and windows provide further elevational relief. Exterior building materials will be primarily brick. Building accents will be constructed of an alternate colored brick. Brick banding and soldier coursing have been incorporated into the overall design. The roofs will be peaked and constructed of architectural composite shingles. Dormers are provided to break up the roof line. A clubhouse will also be constructed as part of the new community. The clubhouse will serve as a leasing center as well as the community building with recreational amenities, activities and services for the residents. The clubhouse will be two (2) stories with a unique elevational design serving as a key focal point as well as a functional component of the community. Building materials will be the same as those used in the construction of the residential buildings.

Extensive landscaping, several strategically placed garden/landscape structures and a variety of pavement/hardscape textures will enhance the visual appearance and the living environment for the residents. A landscape plan submitted with this application includes streetscape improvements along Layton Hall Drive. Street trees, brick sidewalks and gas lights will be installed consistent with downtown Fairfax. The building frontage areas will complement the public streetscape with additional canopy and ornamental trees as well as foundation shrubbery and perennial plantings. Similar landscape treatments will be provided throughout the property, along the perimeter, within the adjacent floodplain, and on landscaped islands to provide visual relief throughout the surface parking area. Hardscaped features include three (3) terraces that will be located above garage parking structures. These terraces are located between Buildings F and G, adjacent to the pool and centrally located between Buildings D, E,

and F, and between Buildings B and C overlooking the floodplain. The terraces will include a variety of pavement types, planters containing ornamental trees and perennial plantings. The terraced areas in and adjacent to the clubhouse and pool will provide a variety of exterior seating and gathering areas inclusive of an overlook patio above the east end of the pool. The terrace serves as a visual amenity but also a gathering space for residents. These features are detailed on the landscaped plans submitted with this application.

The community will also include a street side entry pocket park located at the primary entrance on Layton Hall Drive. This area will include a trellis backdrop, seating area and low landscape wall containing the community's identification sign. A second seating area is located at the northeast corner of Building C. Retaining walls are necessary along portions of the perimeter as a result of the grade differential with adjacent properties. The retaining walls will be constructed of rubble stacked stone with metal embossed black railings at the top. The walls will be complemented by a variety of plant material.

The owner and developer of the Layton Hall community has thoughtfully created a design of seven (7) compatibility scaled residential buildings that will be constructed of high quality building materials accented by a variety of landscaping and hardscape features. The traditional design will be consistent with the overall style of Old Town Fairfax. The new community will provide multi-family housing in an urban environment that will diversify the housing opportunities available within Fairfax City.

{A0573122.DOCX / 1 Comprehensive Statement of Design Intent 000053 000231}

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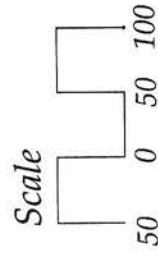
**Dept. of Community  
Development & Planning**



# Layton Hall

## Site Plan

Overall Layout  
(Under Site Plan Review)

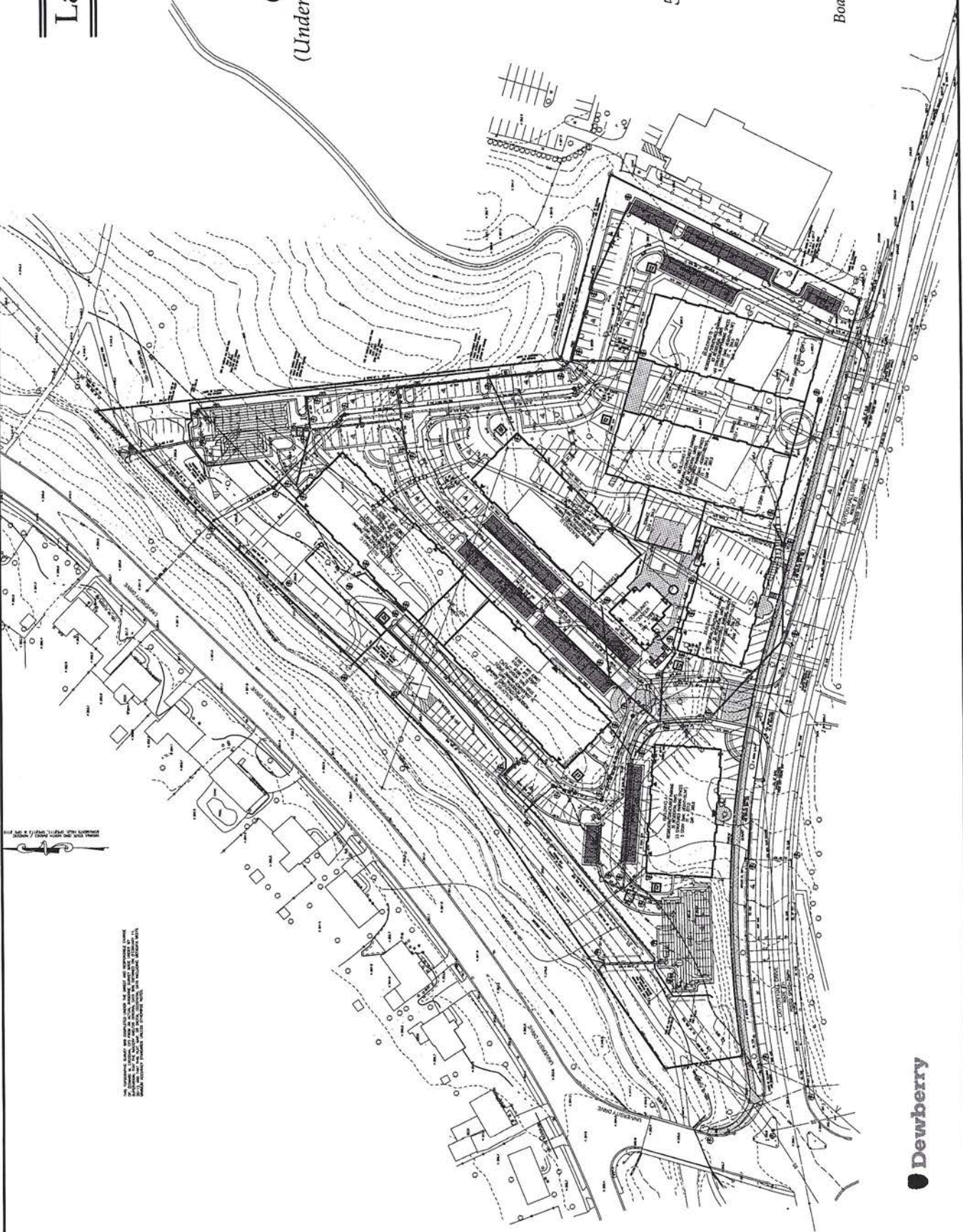


Attachment

City of Fairfax  
Board of Architectural Review  
Submission Materials

April 2013

**Dewberry**







# CITY OF FAIRFAX

## Department of Community Development & Planning

20 August 2013

Lynne J. Strobel, Esq.  
Walsh, Colucci, Lubeley, Emrich, and Walsh, PC  
Courthouse Plaza  
2200 Clarendon Boulevard, Thirteenth Floor  
Arlington, Virginia 22201-3359

### **RE: Layton Hall BAR Staff comments**

Ms. Strobel,

Please find below, in no hierarchical order in terms of importance, a list of the various issues of staff concern relative to your client's Layton Hall Apartments project that is slated for discussion as a Work Session item at the BAR meeting on September 4, 2013 at 7:00 pm. For brevity, this memo will reference your recent BAR submittal that included a Layton Hall Site/Site Design/Site Elements booklet as 'Site Booklet' and a Layton Hall Architectural Design booklet as 'Arch Booklet', and the separately-submitted-but-related first submission Site Plan (Sheets 1 – 59) dated July 16, 2013 as 'Site Plan 1<sup>st</sup>'

1. General 'Boilerplate' Comment on all submittals. Please try to make sure that there is consistency to the submittal materials sent to us to both avoid future staff confusion as we seek to determine which version is intended to be the correct one and to similarly avoid the need for a future formal staff interpretation after any BAR Approval that ties their approval to the 'drawings as submitted to staff.'
2. Plaza between Bldg. B and Bldg. C. The City-Council-approved renderings of this plaza show three shade trees, each in its own large brick planter with flowers at the base of each planted tree, whereas Site Plan 1<sup>st</sup> sheet 46 shows Rocket Red Crape Myrtle trees in a singular planter with Sweet Gum Magnolia trees, each in an individual planter behind. Contrast this to pg. 6 of Site Booklet that shows a grassed plaza with trees on the sides and pg. 8 that seems to be the same as Site Plan 1<sup>st</sup> sheet 46. Further, the upper graphic on pg. 6 of Arch Booklet shows trees planted in this plaza that are not in any elevated planter box. See our general comment No. 1 above – please revise the plan view and elevation view graphics in your submittal to add in any proposed tree planter boxes.
3. Building B and C retaining wall/building base. Looking closely between the equally-spaced trees that are drawn on the Building B Rear Elevation graphic (dated 4-17-2013) that was part

of the elevation graphics reviewed and approved by City Council, one can see indentations in the brick building base (or low retaining wall in foreground) that appear to be spaced at approximately 12 feet on center and that feature distinct brick sills and rectangular openings – to evoking the appearance of a window or perhaps a parking garage airway is unclear. Regardless, the incorporation of this rhythmic and human-scaled architectural element that helps break up an otherwise imposing massive building base element on which proposed Buildings B and C are then to be built. Arch Booklet sheet 6 includes arched indentations that are of a less human scale and a less rhythmic pattern with less detailing that together are less successful in reducing one's perception of a massive monolithic base upon which proposed Buildings B and C would be built. Please endeavor to further detail the retaining walls and building bases to lessen the appearance of a large monolithic base for the proposed buildings.

4. Individual apartment balcony configuration. Arch Booklet sheet 18 shows an end elevation of proposed Building C. If one looks closely one can see that the views of the sides of each balcony appear to indicate that there is open space between the spindles, whereas there appears to be no such similar open space between the spindles for that portion of the balcony that faces directly outward (otherwise one would see portions of the lower portions of the various French patio doors located directly behind this section of the balcony). Staff supports the provision of a solid opaque screen located immediately behind these railing spindles (to further help screen views of the varying personal contents of each balcony) but believes that this screen should be of a color other than that of the spindles so as to maintain an outward appearance of these spindles. Staff suggests the use of a complementary color used elsewhere on the building, such as the Navaho Beige color of the proposed Hardie Plank siding.
5. Rooftop chimney and flues. Given that the various elevations reviewed and approved by City Council included roofs devoid of any mechanical equipment and other such upward projections, the appearance of such rooftop elements, such as the new elements that appear to be chimneys and flues is of obvious concern to staff. Please explain to us the purpose of these added appendages, the need for locating them in the locations as they are currently being proposed, and the differences between three individual flues – two appear to be of the same design whereas one is taller. Similarly, is there any similar proposed roof appendage slated for the community building roofs, as none currently are shown? Of concern to staff in regards to these chimney-like rooftop appendages is whether they serve as some form of ventilation exhaust for the underground parking structures, as there appears to be a definitive lack of openings in the various lower-level portions of each façade for vents and intakes to provide such ventilation. An additional concern to staff is that the attention to detailing the proposed residential facades needs to also be paid to these rooftop appendages – to this end the lower portion of each chimney appendage needs to not be in the Navaho beige color but in a Provincetown-like color/s so as to match the appearance of the proposed main brick colors of each of the facades.
6. Added façade articulation is needed. Proffer 8A that was included as part of City Council's approval of this project included a sentence that reads as follows: "Architectural elements such as varied wall setbacks, brick banding, soldier coursing and/or relief patterns, shall be incorporated into the overall design to be presented for review by the Board of Architectural Review." Staff finds that the overall total appearance of the proposed residential building facades, as presented in the supplied graphics, more portray a homogeneity rather than the articulated façade that staff believes was intended by this proffer. Revising the proposed building facades to add further articulation by increasing the amount of vertical separation (either extending outward beyond the existing façade or receding inward away from the existing



façade) between portions of the existing building's facades will create added vertical lines of separation that will in turn create vertical shadow lines.

As just one example, the proposed upper HardiePlank-sheathed uppermost story of the residential building appears to be on a singular vertical plane and has no articulation across the entirety of the various facades. Extending each existing reverse gable dormer façade (not gable dormer roof) (easily identifiable due to their round porthole-style window elements) outward by say six inches will create a vertical line on either side of the white header element that spans the patio opening that demarcates the change in vertical separation between the HardiePlank located around the grouped double-hung windows and the HardiePlank around the porthole window element that has been moved further outward. This added articulation provided by added vertical lines from offset façades will be further accented due to the added shadow lines created. Such an outward extension of this portion of the reverse gable dormer, if continued further downward to thus vertically span the entire façade, could then serve to increase the visual importance of these reverse gable dormer building elements and thus provide yet another example of added building articulation, so that the resultant architecture becomes more interesting in a visual manner and less of a monolithic box that varies little across the entire vertical height of the facades. Staff believes that the articulation effects of the materials and methods currently being used in this project on the facades – soldier coursing using contrasting brick colors, distinct headers and sills over fenestration, sections of accent brick colors to draw attention to primary public building entrances, the use of darker brick colors lower on the facades and the use of contrasting lighter non-brick accent materials on the upper portions of the facades, the use of stacked similarly-colored fenestration elements (patios) can be exponentially increased in effectiveness by varying the vertical and horizontal façade planes (either outward or inward).

7. Balcony inset walls. Ensure that the thin vertical portions on either side of the French patio doors leading to the individual balconies match the white colors of these doors – don't use the Navajo Beige HardiePlank material in here.
8. Retaining walls. Ensure that all exposed surfaces of the proposed retaining walls are surfaced in the identified rubble stacked stone material – no exposed concrete anywhere.
9. Trellis discrepancies. Staff prefers that all trellises provided reflect the appearance and materials and construction details of the trellis shown on pg. 23 of the Arch Booklet and NOT the trellis details as shown on the trellis details as shown on pg. 21 of the Site Booklet.
10. Signage. Please understand that the project will need BAR Approval of all signs on the site, as it appears that some proposed signs may actually need approval via the Special Exception process that were not previously reviewed by City Council.
11. Community Center. Please provide stucco finishes rather than the HardiePlank.
12. Gas Lights. Staff checked and natural gas service is available to the site, so natural gas streetlights should be provided.
13. Elevation dimensions. Add dimensions to the provided building elevation drawings to reflect compliance with the approved height restrictions.
14. Community Center. The footprint of the proposed Community Center as shown on the Site Plan does not fully align with the elevation drawings provided to the BAR. Please fix.

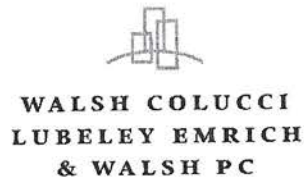
Page 4

Please contact me at 703-385-7892 if I can be of any further assistance.

Sincerely,

Mike Jaskiewicz, AICP

Lynne J. Strobel  
(703) 528-4700 Ext. 5418  
lstrobel@arl.thelandlawyers.com



August 30, 2013

**Via E-mail and Hand Delivery**

Michael H. Jaskiewicz  
Board of Architectural Review Liaison  
City of Fairfax  
Community Development and Planning Division  
10455 Armstrong Street, Room 207  
Fairfax, Virginia 22030

Re: Layton Hall  
Board of Architectural Review Submission  
Response to Staff Comments  
Applicant: Seventeenth Carr-Layton Hall Limited Partnership

Dear Mr. Jaskiewicz:

Thank you for your staff comments to the Board of Architectural Review (BAR) submission for Layton Hall Apartments. Please accept this letter in response to your comments dated August 20, 2013. I have paraphrased each comment for purposes of this letter.

**Comment 1:** General 'Boilerplate' Comment on all submittals. Ensure consistency of submitted materials to avoid future staff confusion.

**Response:** The Applicant's consultants have worked together to ensure consistency of the revised materials submitted with this letter.

**Comment 2:** Plaza between Bldg. B and Bldg. C. Discrepancy between sheet 46 of the Site Plan showing trees in individual planters and Sheet 6 of the Site Booklet and Sheet 6 of the Architectural Booklet.

**Response:** The Architectural Booklet has been revised to accurately depict the planters shown on the Site Plan. The Site Booklet and Architectural Booklet are now consistent.



Comment 3: Building B and C retaining wall/building base. The elevation graphics reviewed and approved as part of the rezoning application include architectural elements that do not appear on the elevations of proposed Buildings B and C in the Architectural Booklet.

**Response:** The elevations in the Architectural Booklet have been revised to ensure the consistent rhythmic pattern and detailing shown on the conceptual elevations approved with the rezoning.

Comment 4: Individual apartment balcony configuration. The Architectural Booklet appears to indicate a solid opaque screen located immediately behind the balcony railing spindles.

**Response:** The elevation in the Architectural Booklet, specifically on Sheet 18, has been revised to clarify that an opaque screen is not proposed behind the balcony picket railing.

Comment 5: Rooftop chimney and flues. Concern with additional elements of chimneys and flues along the roofs. A request for information regarding the necessity and purpose of these features and concern regarding the proposed façade of the features.

**Response:** The chimneys and flues are required to vent the trash chutes and the garage level trash room, and are necessary for the proper operation of the building systems. That being said, the size and overall height of the chimneys has been significantly reduced by redirecting the trash room venting to one of the existing gable vents. The proposed chimneys avoid the provision of exterior trash dumpsters throughout the property. The Applicant disagrees that the façade should be in brick or brick color. The use of brick or a brick color will appear heavy and add to the mass of the building. The Applicant considers the colors shown to be neutral that will minimize the appearance of the chimneys and flues.

Comment 6: Added façade articulation is needed. Staff encourages the provision of an articulated façade as intended by the proffers approved in conjunction with the rezoning application.

**Response:** The elevations in the Architectural Booklet have been revised to clearly represent the articulation of building façades consistent with conceptual elevations approved with the rezoning.

Comment 7: Balcony inset walls. Request that the doors leading to the individual balconies match the white colors of the doors.

**Response:** This comment has been addressed in the elevations shown in the Architectural Booklet.

Comment 8: Retaining walls. Ensure that all exposed surfaces of the proposed retaining walls are surfaced in the identified rubble stacked stone material.

**Response:** The Architectural Booklet and the Site Booklet both identify the retaining walls as surfaced in rubble stacked stone material. There is no exposed concrete.

**Comment 9: Trellis discrepancies.** Staff identified an inconsistency in the trellis shown in the Architectural Booklet and the Site Booklet.

**Response:** The trellis detail in the Site Booklet has been revised to be consistent with the trellis shown in the Architectural Booklet. A revised Page 21 of the Site Booklet has been included with this submission.

**Comment 10: Signage.** Request to show signs as part of the BAR evaluation and approval process.

**Response:** Proposed signs are shown on Sheet 15 of the Site Booklet.

**Comment 11: Community Center.** Request to provide stucco finishes rather than the HardiePlank on the community center.

**Response:** The Applicant believes that HardiePlank is a more attractive material than stucco. In addition, HardiePlank is more durable and easier to maintain. The Applicant continues to propose HardiePlank on the community center.

**Comment 12: Gas Lights.** Natural gas streetlights should be provided.

**Response:** The Site Booklet and the Architectural Booklet include the proposed gas light fixture.

**Comment 13: Elevation dimensions.** Request to add dimensions to the proposed building elevation drawings to reflect compliance with the approved height restrictions.

**Response:** Dimensions have been added to the Architectural Booklet to demonstrate compliance with height restrictions. These dimensions have been coordinated with the current site plan submitted to the City.

**Comment 14: Community Center.** Ensure that the footprint of the Community Center aligns with the elevation drawings provided to the BAR.

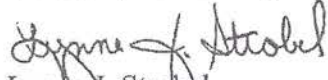
**Response:** This issue has been addressed in the Architectural Booklet.

Ten (10) copies of a revised Architectural Booklet will be submitted under a separate cover by Devereaux & Associates. I have enclosed ten (10) copies of revised Sheet 21 of the Site Booklet that may be substituted for Sheet 21 of the prior submission. I would appreciate the distribution of these materials to the members of the BAR prior to next Wednesday's hearing.

Please contact me with any questions. I look forward to the opportunity to present these materials to the BAR at its meeting that will be held on September 4, 2013.

Very truly yours,

WALSH, COLUCCI, LUBELEY, EMRICH & WALSH, P.C.

  
Lynne J. Strobel

LJS/cs

Enclosures

cc: John Cowles  
Dennis Couture  
Sandy Fennell  
Angela Kostelecky  
Naomi Warner  
Anne Hollwedel

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